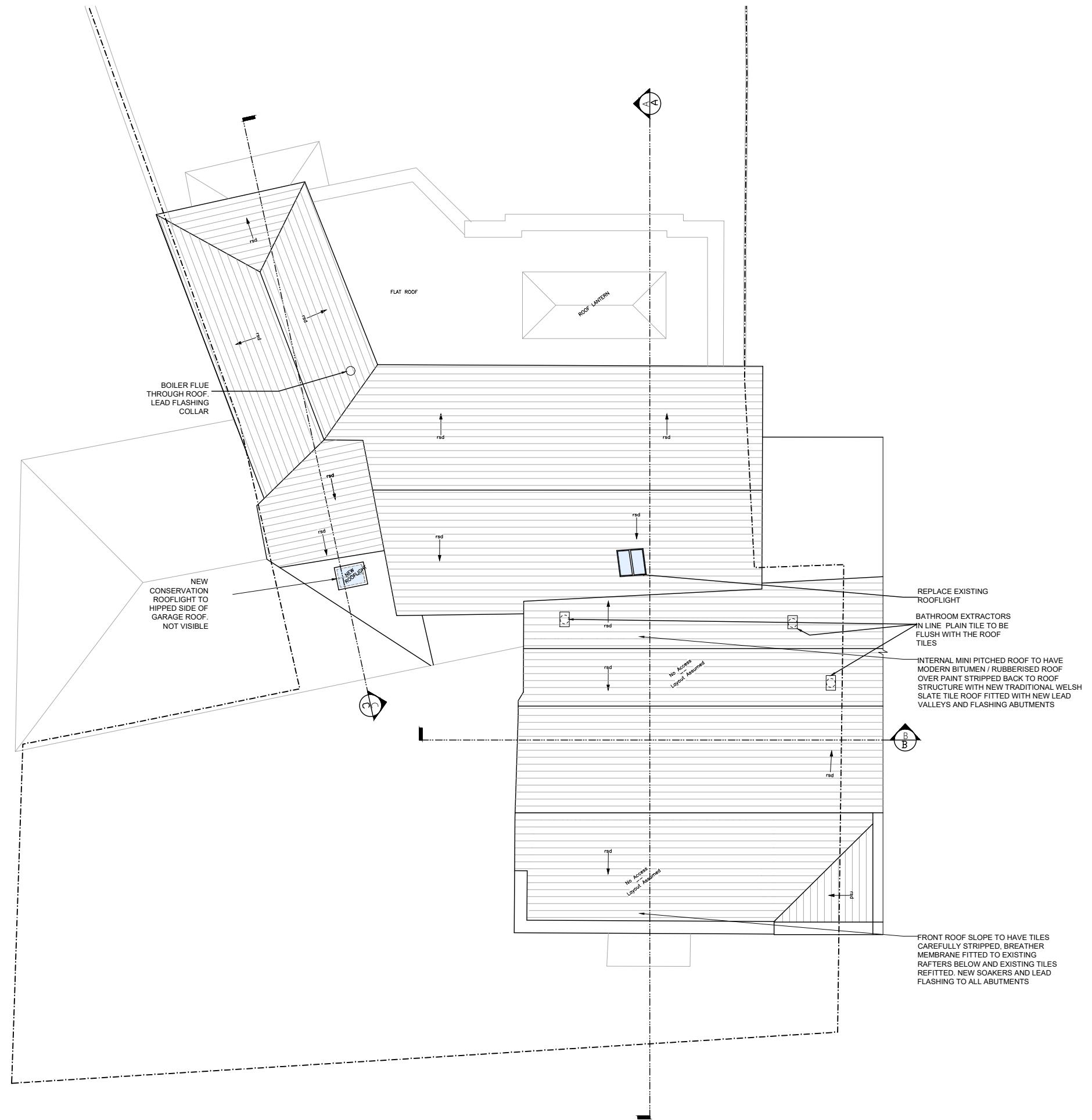


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3 ROOF PLAN
03

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MR A KISZCZUK

PROPOSED ROOF PLAN

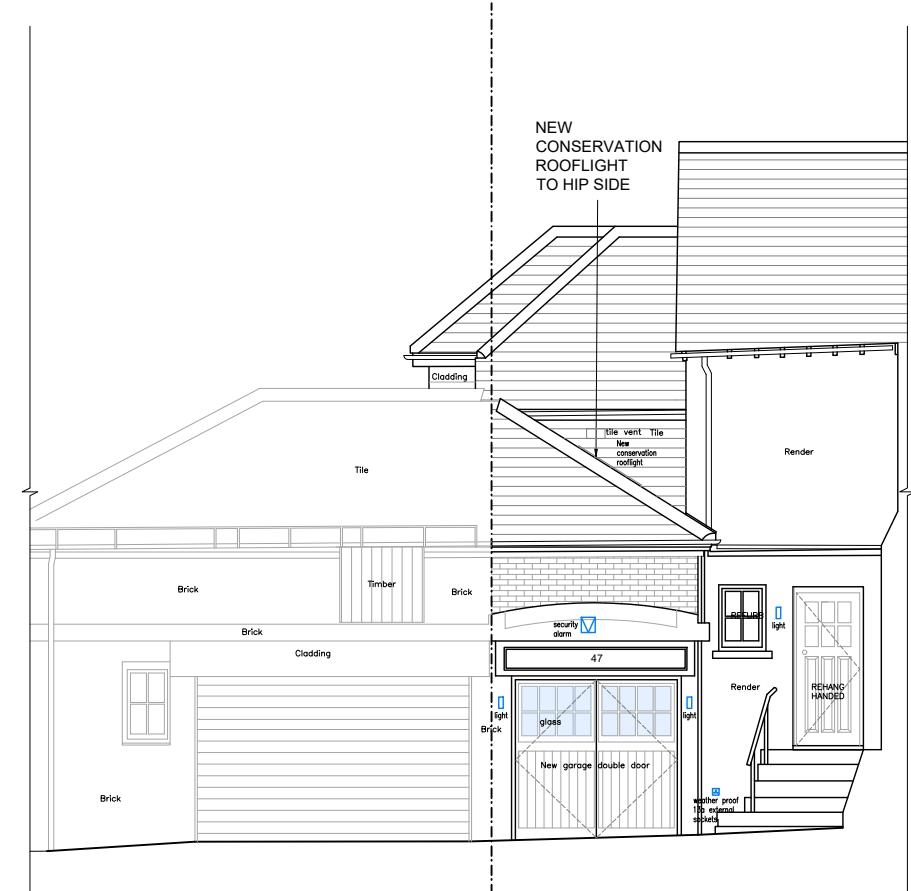
Scale 1/100 © A3	Date 11.01.2024	Drawn SP	Drawn No 277_03_103
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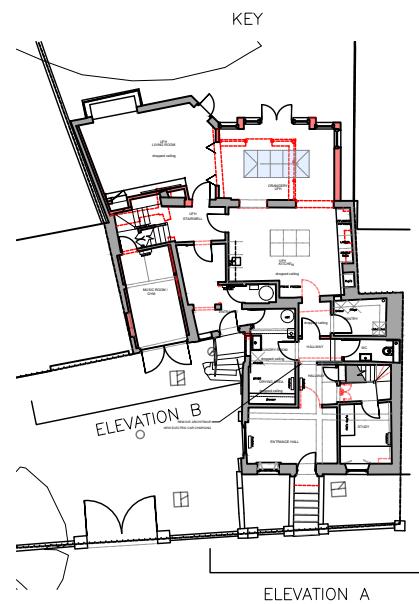
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1 FRONT ELEVATION A
05



2 FRONT ELEVATION B
05



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PROPOSED FRONT
ELEVATIONS

Symbol	Key	ELECTRICAL LEGEND
	Light	
	Security	
	External waterproof 13a socket	
	Door Bell	

Scale 1/100 @ A3
Date 11.01.2024
Drawn SP
Drg No 277_05_101

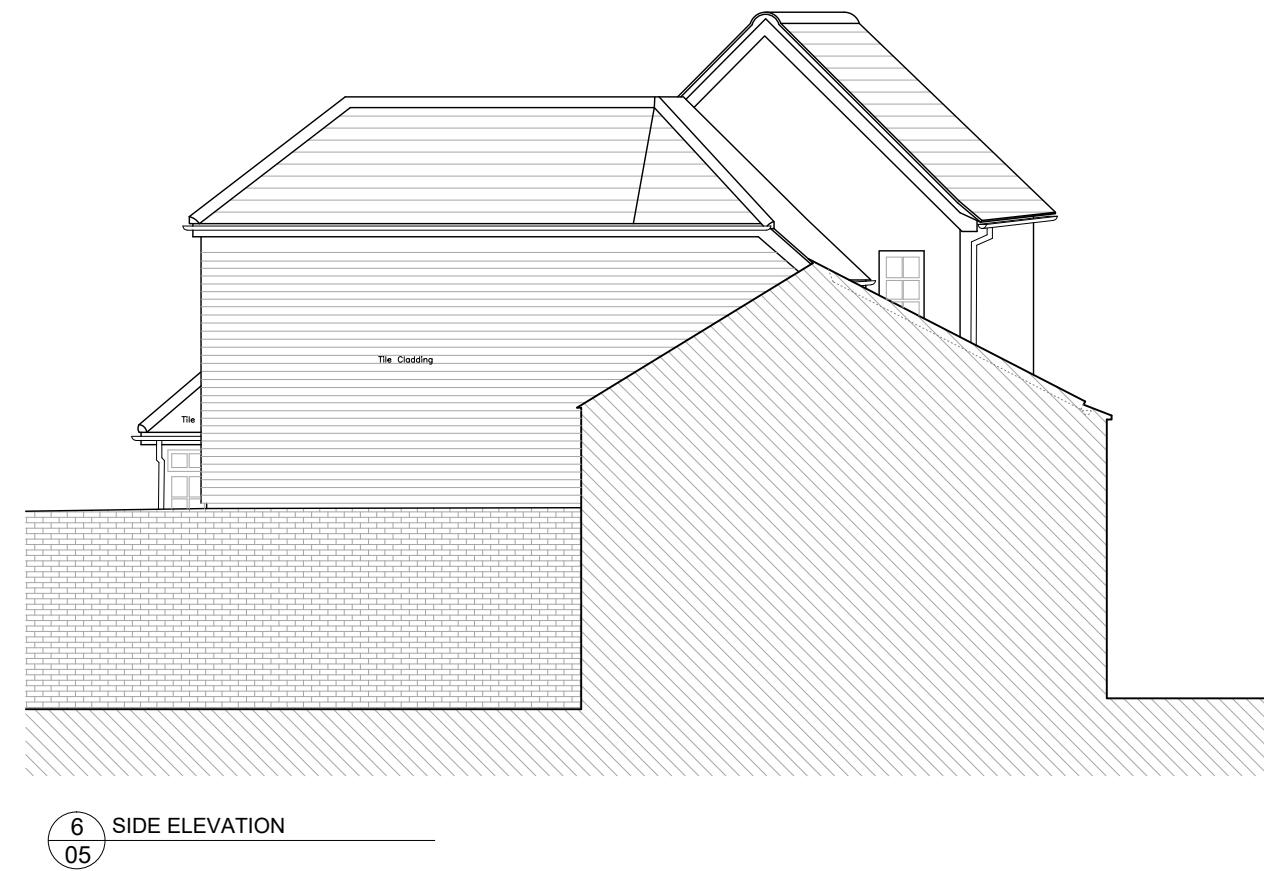
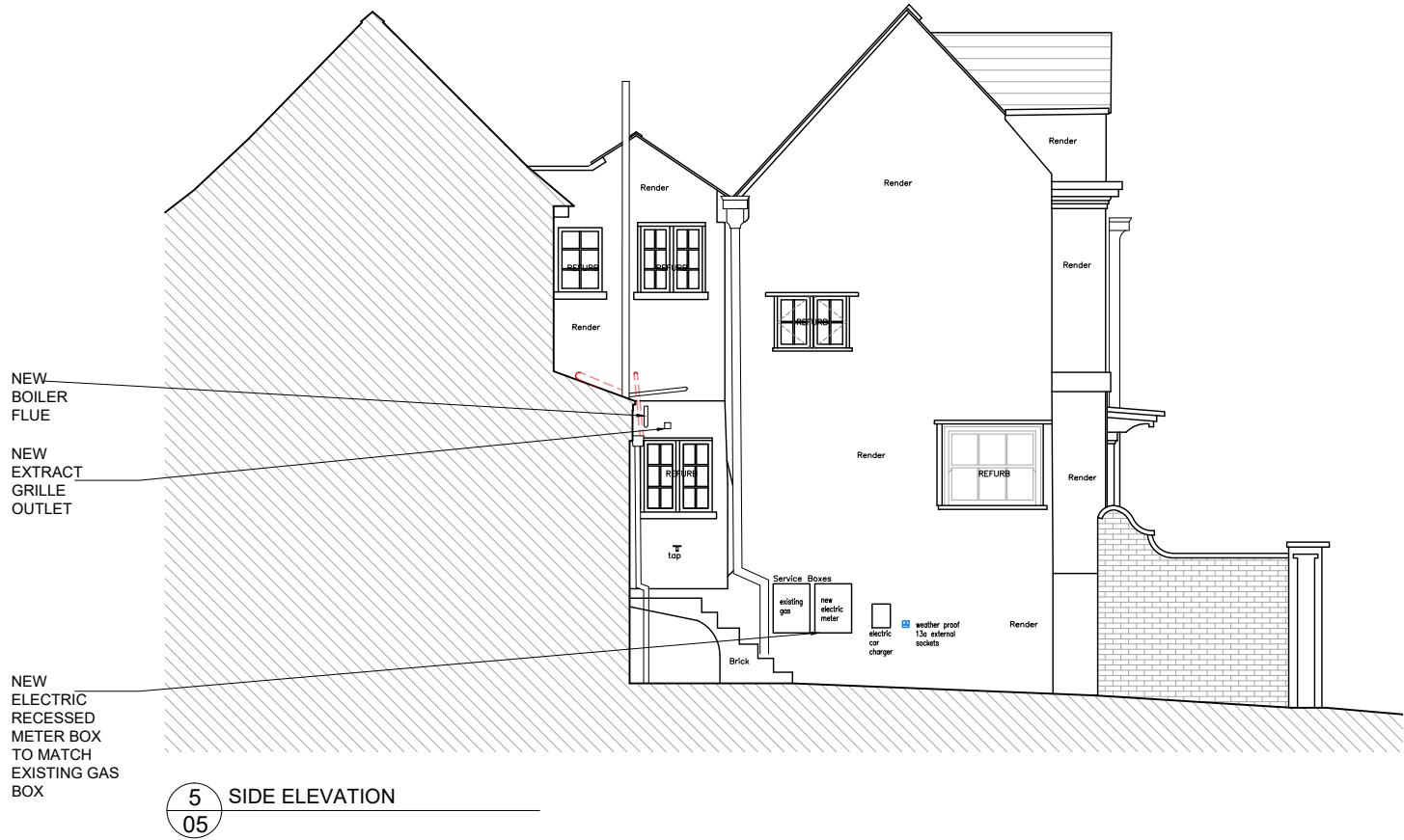
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MR A KISZCZUK

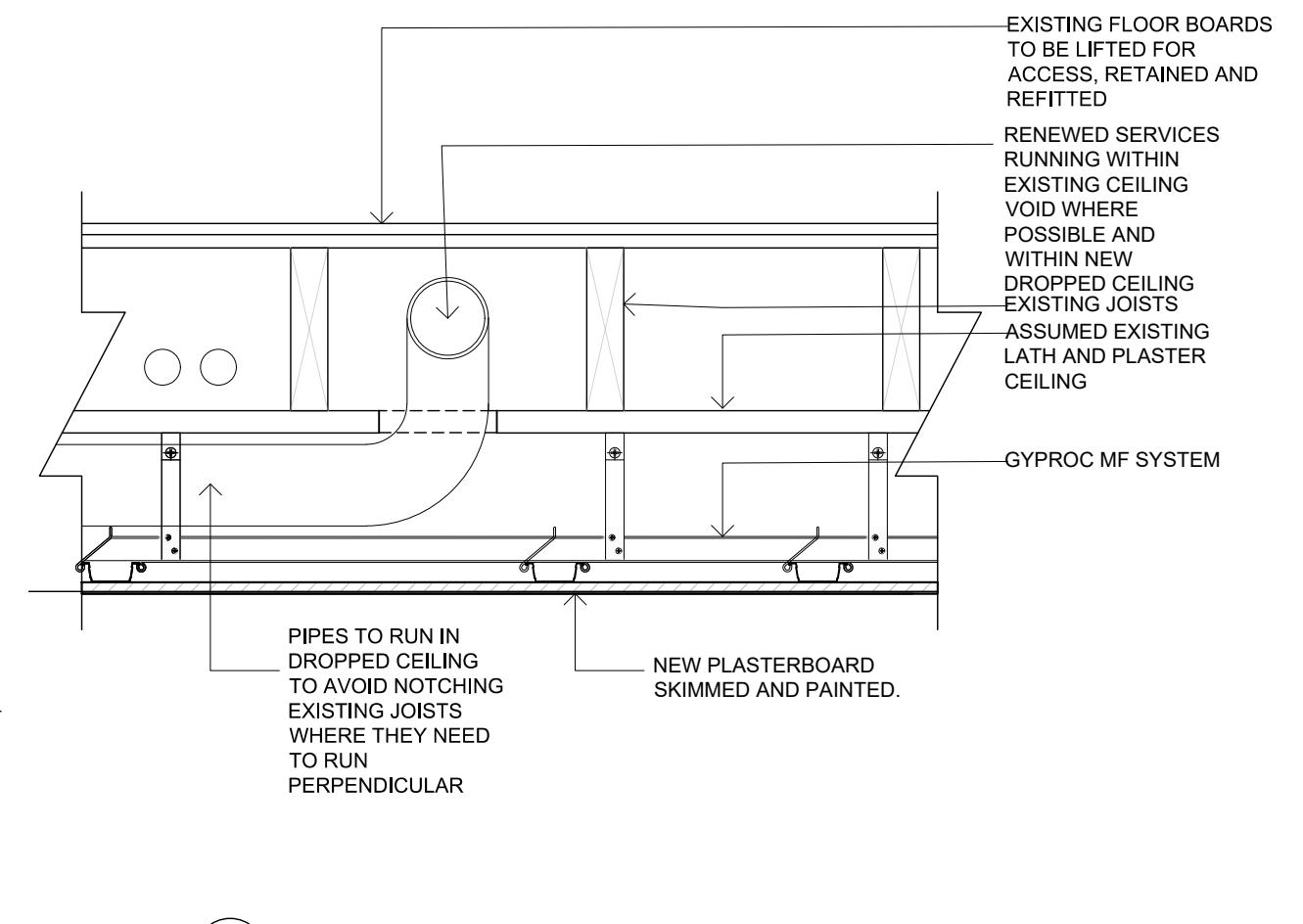
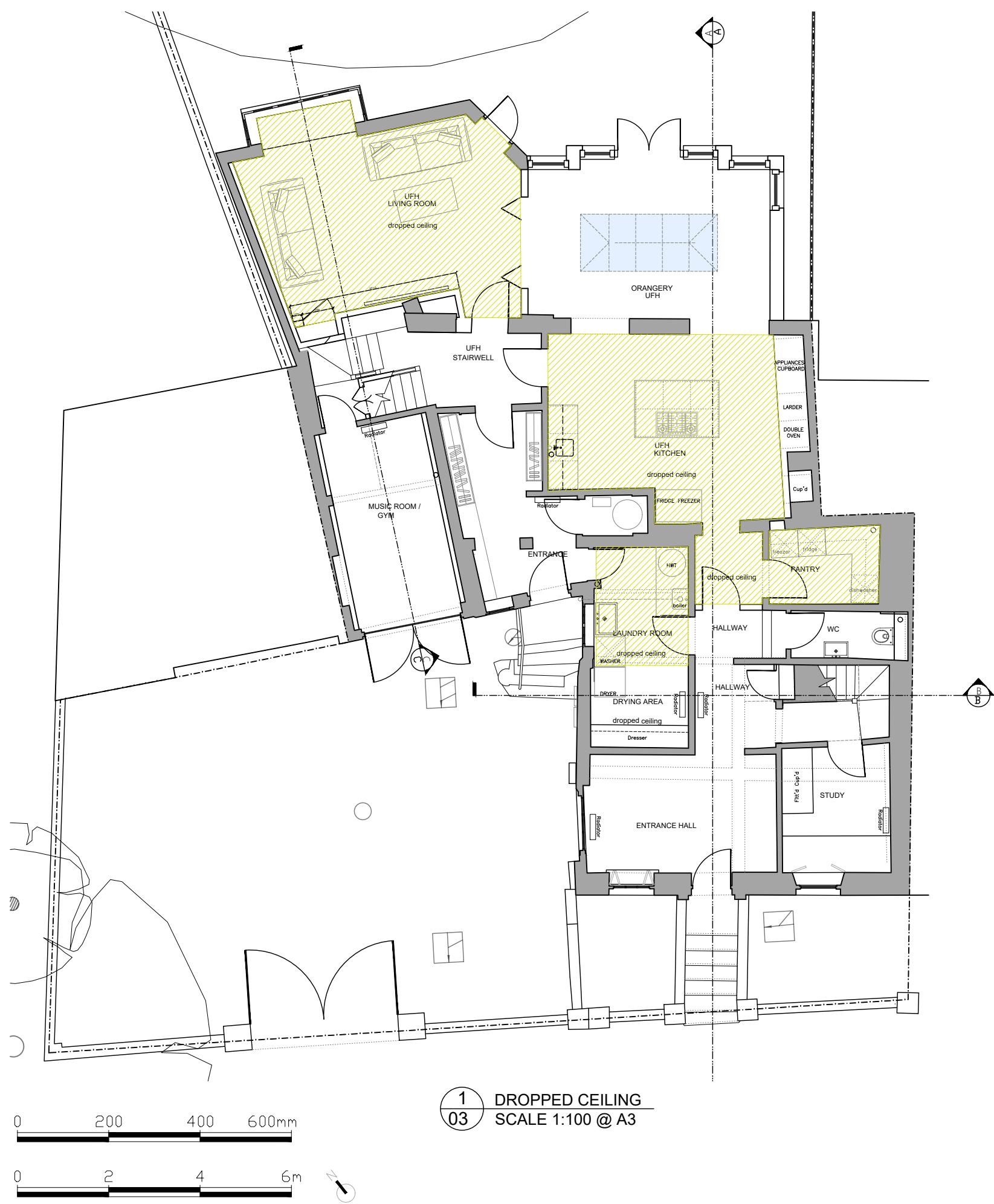
PROPOSED SIDE
ELEVATIONS

Symbol	Key	ELECTRICAL LEGEND
	Light	
	Security	
	External waterproof 13a socket	
	Door Bell	

Scale 1/100 @ A3
Date 11.01.2024
Drawn SP
Drg No 277_05_103

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DISCHARGE OF CONDITION

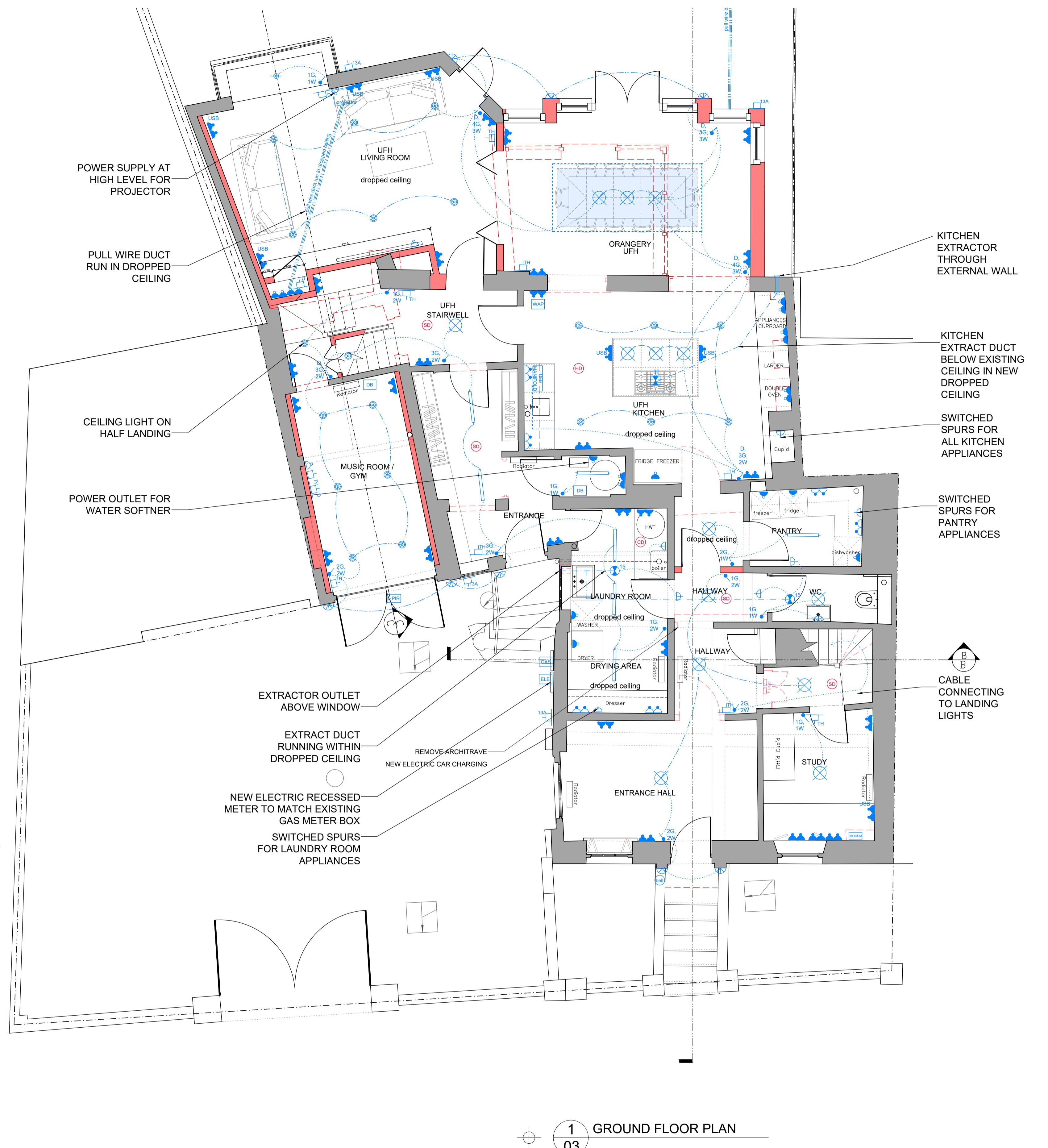
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GROUND FLOOR
PROPOSED DROPPED
CEILING

Scale 1/100 @ A3
Date 11.01.2024
Drawn SP
Drg No 277_03_421



1 GROUND FLOOR PLAN
03

FOR DISCHARGE OF PLANNING CONDITION
NO 6
REF:242704 AND 242705 (APPROVED)

METHODOLOGY ELECTRICAL:

1. ALL WIRING WILL BE RUN THROUGH THE CEILING VOIDS AND NON SENSITIVE AREA FLOOR CAVITIES, ROOF VOIDS.
2. ALL ELECTRICAL SOCKETS & DATA POINTS BACK PLATES ARE RECESSED INTO THE WALL.
3. CIRCUIT DIAGRAM SHOWN IS INDICATIVE.
4. MINIATURE SKIRTING TO HIDE THE ELECTRICAL CABLES.
5. WHERE POSSIBLE CABLES WILL BE RUN THROUGH MORTAR JOINTS

Symbol	Key	ELECTRICAL LEGEND
☒	Pendant light fitting	
◎	Recessed downlighter 240 volts.	
◎ _{MR}	IP65 moisture resistant recessed downlighter 240 volts	
◎ _{MR}	Micro IP65 moisture resistant recessed downlighter 240 volts	
◎ _{UC}	Undercabinet IP65 MR recessed downlighter 240 volts.	
□-----□	Cupboard Lighting	
—	Tube light	
●	Recessed floor uplighter	
☒	Recessed wall stair floor wash light	
-----	LED strip lighting	
∅	Wall lights	
1G, 1W	i.e 1 gang, 1 way light switch	
D	Dimmer switch	
T	Toggle switch	
E	Moisture Resistant External switch	
□~	Surface mounted sensor	
▢	elec. plug point at 450mm from FFL	
▢ USB	elec. plug point at 450mm from FFL with USB	
▢	elec. plug point within kit. cupb/cooker. & spa bath	
▢	elec. plug point 200mm above work top (ie kitchen)	
▢	elec. plug point at high for- hood, boiler, pelmet lights	
▢	single switched fuse spur at high level / visible	
▢	single switched fuse spur at low level / hidden	
▢ 15 ▢ 15	15 litres / sec extraction wall / ceiling mounted	
▢	Shaver Socket (in vanity unit)	
▢ SD	Smoke detector mains operated	
▢ HD	Heat detector mains operated	
▢ CO	Carbon Monoxide detector mains operated	
▢ TH	Room stat	
▢ T	Telephone	
▢ TV	TV point for digital tv -2X CT100 1XCAT6	
▢ D	Data Point	
▢ SAT	Satelite Outlet	
▢ 13A	External waterproof socket	
▢ DB	Distribution Board	
▢ GAS	Gas Meter	
▢ ELE	Electricity Meter	
▢ WAP	Wireless Access Point	
▢ A	Burglar alarm control panel	
▢ A	Burglar alarm server unit	
▢ bell	Hard Wired Door Bell	
▢ PIR	PIR sensor	
▢ LPIR	PIR sensor with alarm system (Light)	
▢ IP	intercom panel	
▢ CCTV	intercom panel	
▢ MODEM	internet router / modem / splitter	
—	Electric Circuit	

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T: 020 73869 7618
M: 07775 287 285
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E: info@ajkd.co.uk

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RG40 1BP

MR A KISZCZUK

ELECTRICAL LAYOUT
GROUND FLOOR

Scale 1:50 Date 11.01.2024
Org. No. 277_03_121
Date RG



2 FIRST FLOOR PLAN
03

FOR DISCHARGE OF PLANNING CONDITION
NO 6
REF:242704 AND 242705 (APPROVED)

METHODOLOGY ELECTRICAL:
 1. ALL WIRING WILL BE RUN THROUGH THE CEILING
 VOIDS AND NON SENSITIVE AREA FLOOR CAVITIES,
 ROOF VOIDS.
 2. ALL ELECTRICAL SOCKETS & DATA POINTS BACK
 PLATES ARE RECESSED INTO THE WALL.
 3. CIRCUIT DIAGRAM SHOWN IS INDICATIVE.
 4. MINIATURE SKIRTING TO HIDE THE ELECTRICAL
 CABLES.
 5. WHERE POSSIBLE CABLES WILL BE RUN THROUGH
 MORTAR JOINTS

Symbol	Key	ELECTRICAL LEGEND
☒	Pendant light fitting	
◎	Recessed downlighter 240 volts.	
◎ _{MR}	IP65 moisture resistant recessed downlighter 240 volts	
◎ _{MR}	Micro IP65 moisture resistant recessed downlighter 240 volts	
◎ _{UC}	Undercabinet IP65 MR recessed downlighter 240 volts.	
□-----□	Cupboard Lighting	
—□—	Tube light	
●	Recessed floor uplighter	
☒	Recessed wall stair floor wash light	
-----	LED strip lighting	
☒	Wall lights	
1G, 1W	i.e 1 gang, 1 way light switch	
D	Dimmer switch	
T	Toggle switch	
E	Moisture Resistant External switch	
□~	Surface mounted sensor	
►	elec. plug point at 450mm from FFL	
►USB	elec. plug point at 450mm from FFL with USB	
►	elec. plug point within kit. cupb/cooker. & spa bath	
►	elec. plug point 200mm above work top (ie kitchen)	
►	elec. plug point at high for- hood, boiler, pelmet lights	
►	single switched fuse spur at high level / visible	
►	single switched fuse spur at low level / hidden	
☒ 15 ☒ 15	15 litres / sec extraction wall / ceiling mounted	
☒	Shaver Socket (in vanity unit)	
SD	Smoke detector mains operated	
HD	Heat detector mains operated	
CD	Carbon Monoxide detector mains operated	
TH	Room stat	
TH	Telephone	
TV	TV point for digital tv -2X CT100 1XCAT6	
D	Data Point	
SAT	Satelite Outlet	
13A	External waterproof socket	
DB	Distribution Board	
GAS	Gas Meter	
ELE	Electricity Meter	
WAP	Wireless Access Point	
Ⓐ	Burglar alarm control panel	
A	Burglar alarm server unit	
bell	Hard Wired Door Bell	
PIR	PIR sensor	
LPIR	PIR sensor with alarm system (Light)	
IP	intercom panel	
cctv	intercom panel	
MODEM	internet router / modem / splitter	
—□—	Electric Circuit	

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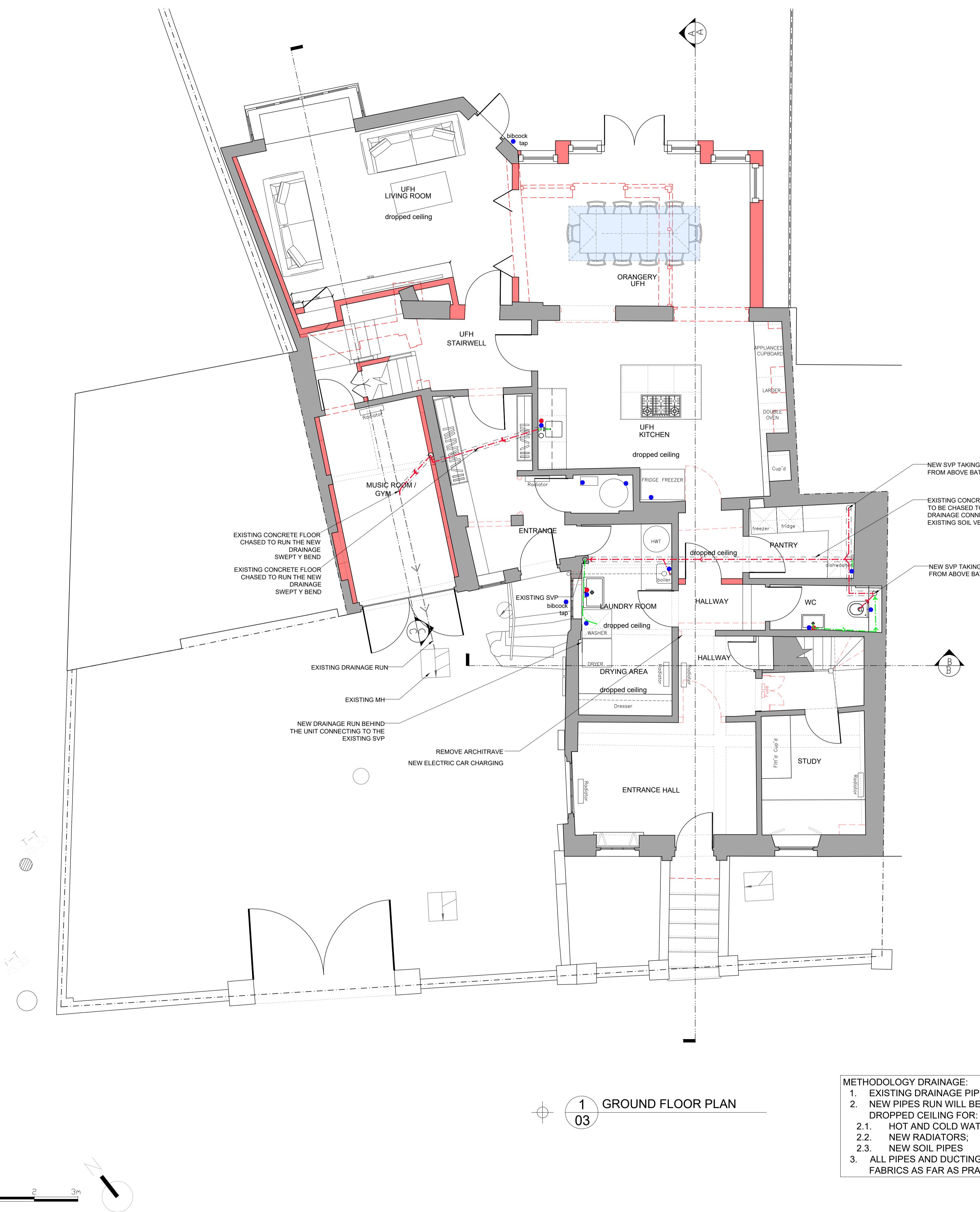
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ELECTRICAL LAYOUT
 FIRST FLOOR

Scale 1:50 A1
 Date 11.01.2024
 Drawn RG
 Org. No. 277_03_122



METHODOLOGY DRAINAGE:

1. EXISTING DRAINAGE PIPES WILL BE USED AS FAR AS POSSIBLE.
2. NEW PIPES RUN WILL BE WITHIN THE CEILING AND NEW DROPPED CEILING FOR:
 - 2.1. HOT AND COLD WATER SUPPLY;
 - 2.2. NEW RADIATORS;
 - 2.3. NEW SOIL PIPES
3. ALL PIPES AND DUCTING WILL NOT AFFECT THE EXISTING FABRICS AS FAR AS PRACTICABLE.

**FOR DISCHARGE OF PLANNING CONDITION
NO 6
REF:242704 AND 242705 (APPROVED)**

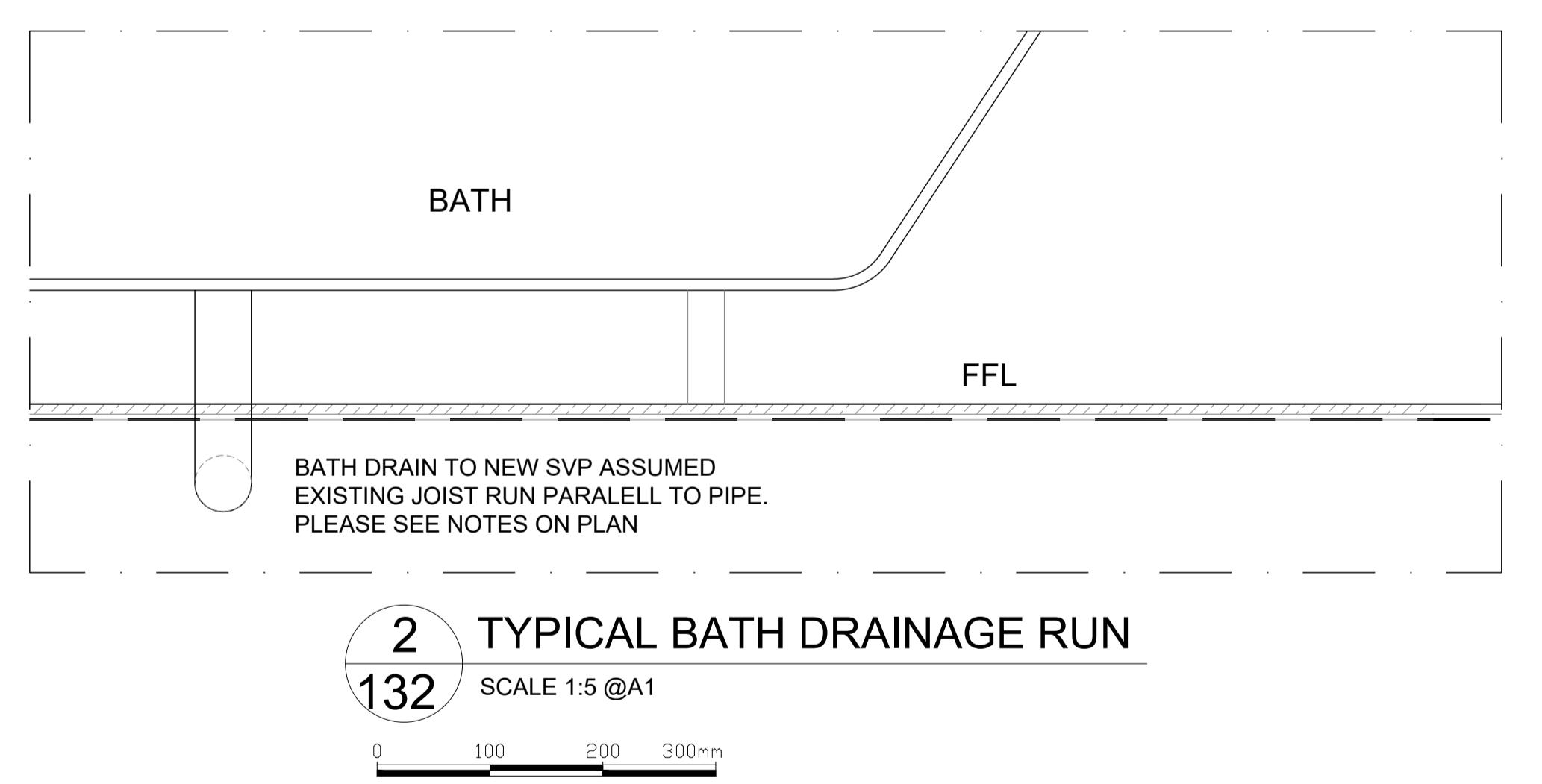
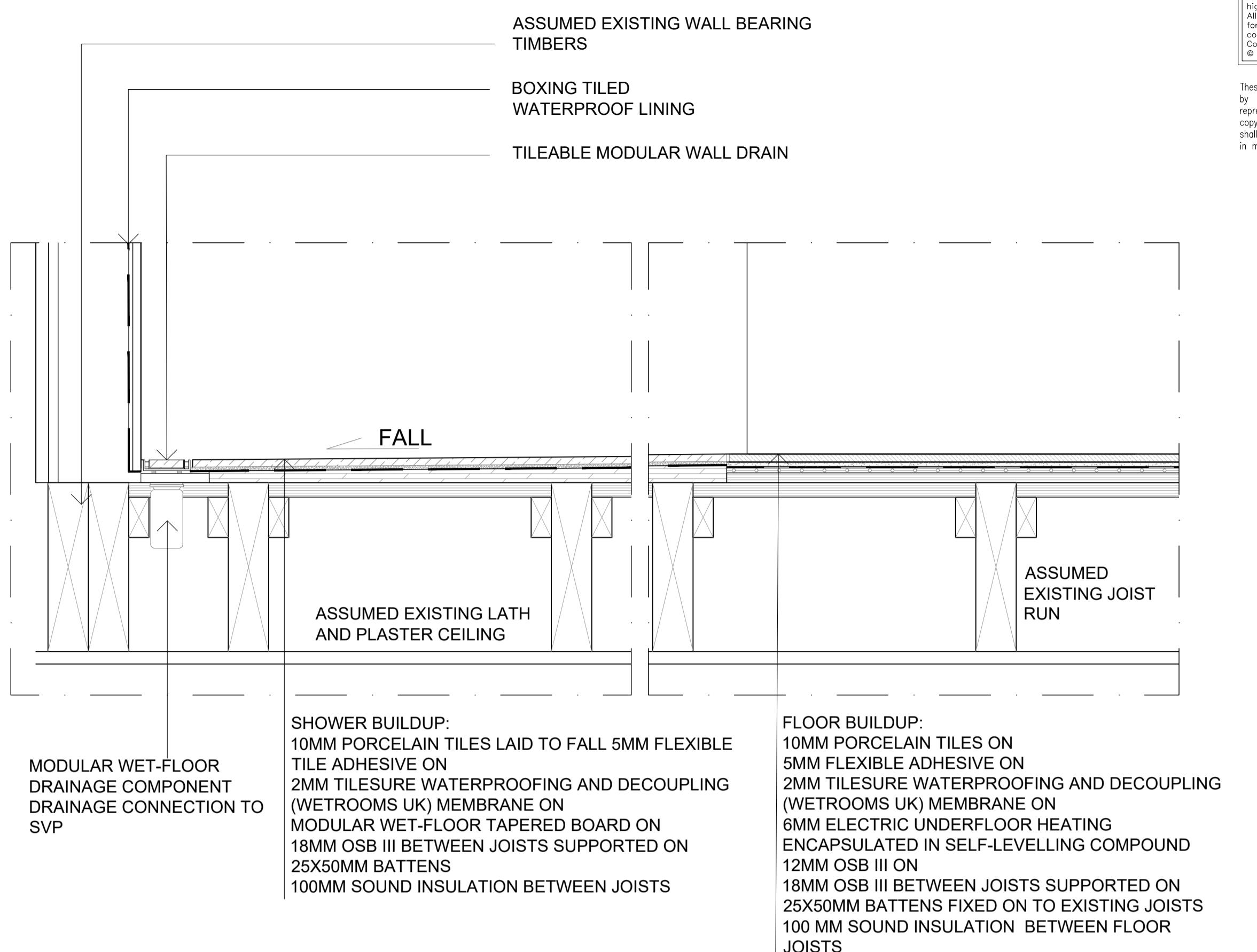
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MR A KISZCZUK

**DRAINAGE LAYOUT
GROUND FLOOR**



METHODOLOGY DRAINAGE:
 1. EXISTING DRAINAGE PIPES WILL BE USED AS FAR AS POSSIBLE.
 2. NEW PIPES RUN WILL BE WITHIN THE CEILING AND NEW DROPPED CEILING FOR:
 2.1. HOT AND COLD WATER SUPPLY;
 2.2. NEW RADIATORS;
 2.3. NEW SOIL PIPES
 3. ALL PIPES AND DUCTING WILL NOT AFFECT THE EXISTING FABRICS AS FAR AS PRACTICABLE.

**FOR DISCHARGE OF PLANNING CONDITION NO 6
REF:242704 AND 242705 (APPROVED)**

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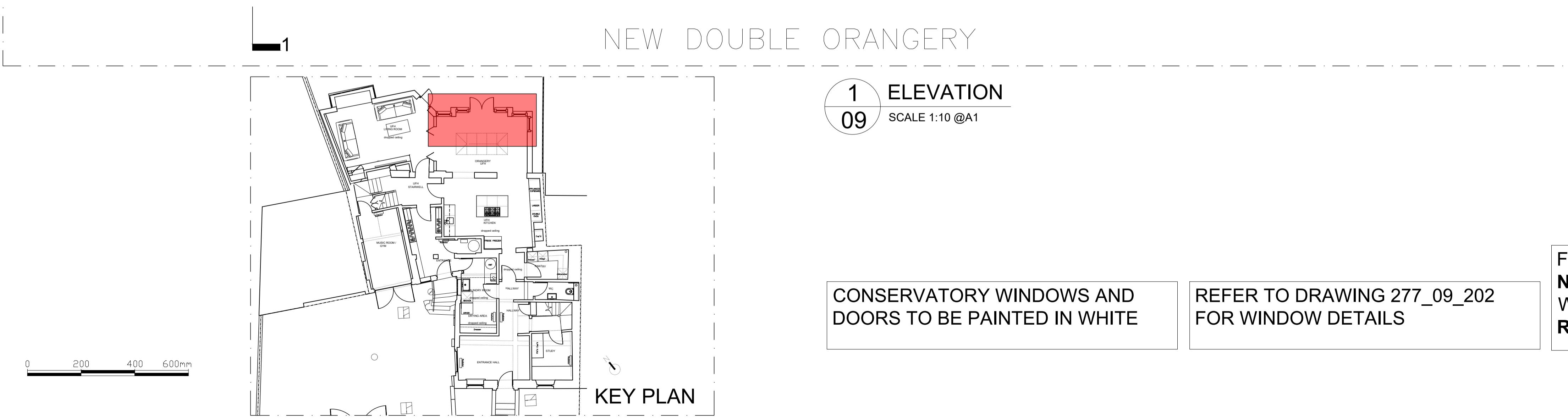
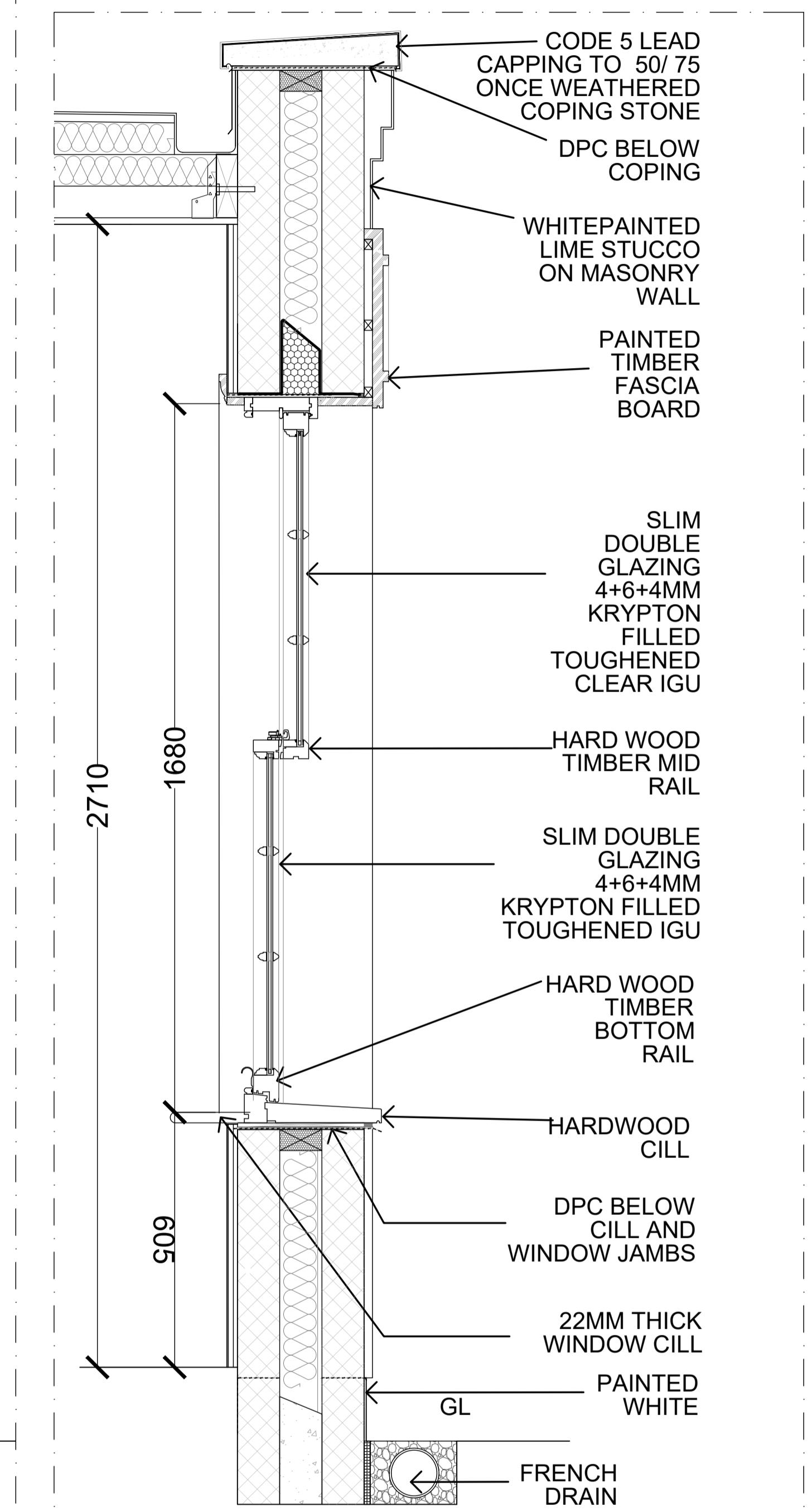
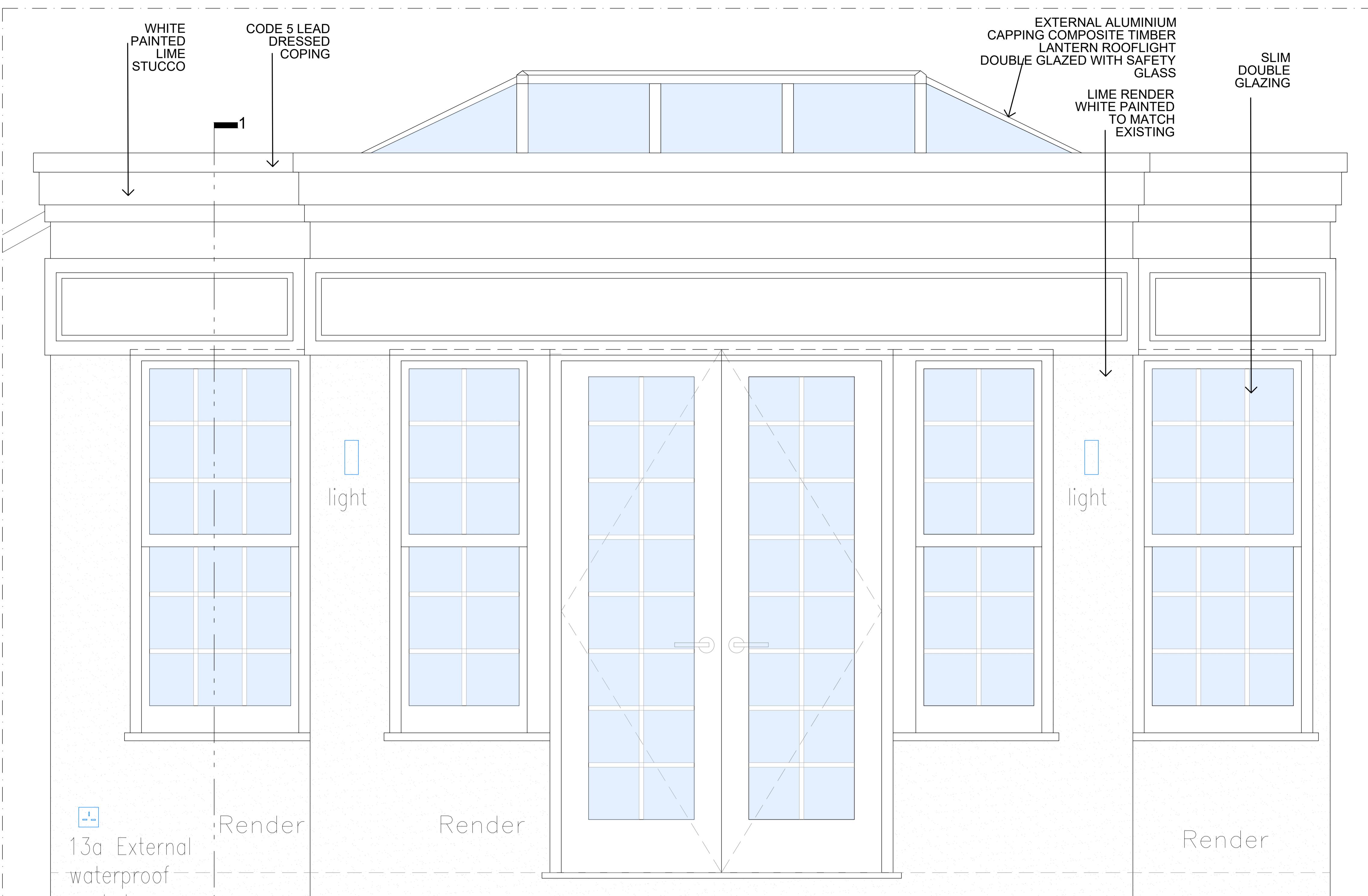
—	SURFACE WATER WASTE/FOUL WITHIN CEILING AND BELOW GROUND
—	WASTE/FOUL ABOVE FLOOR/INSIDE JOINERY UNITS
—	ASSUMED EXISTING
●	HOT WATER SUPPLY
●	COLD WATER SUPPLY
r.e.	RODDING EYE
A	AIR ADMITTANCE VALVE (AAV)
↙ ↘	ASSUMED/New DRAINAGE RUN

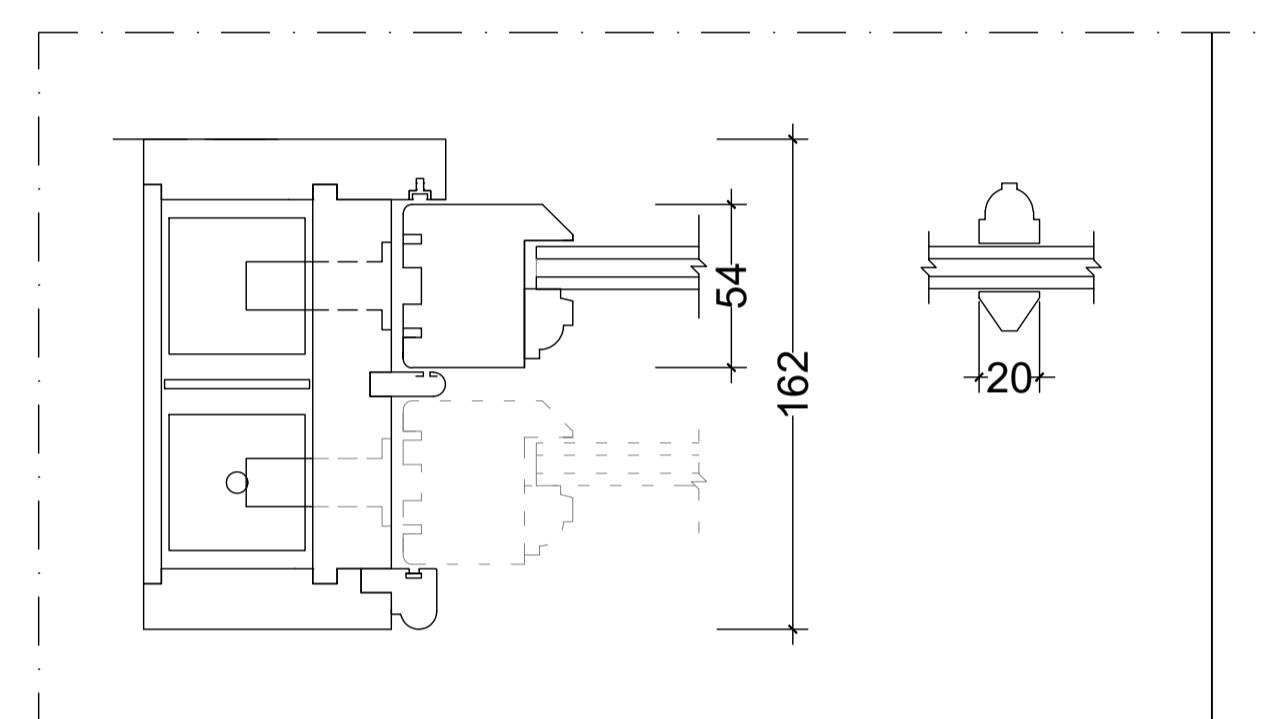
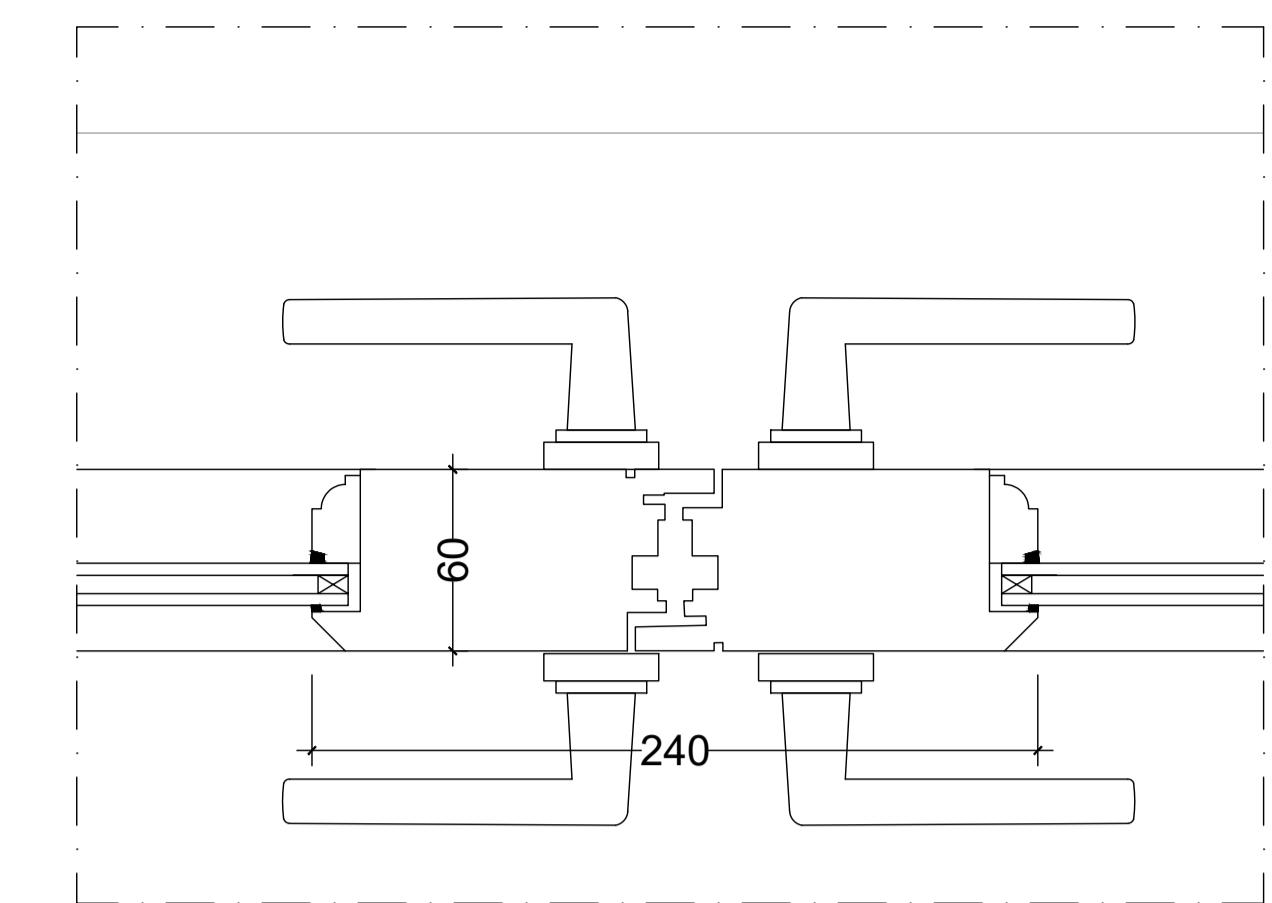
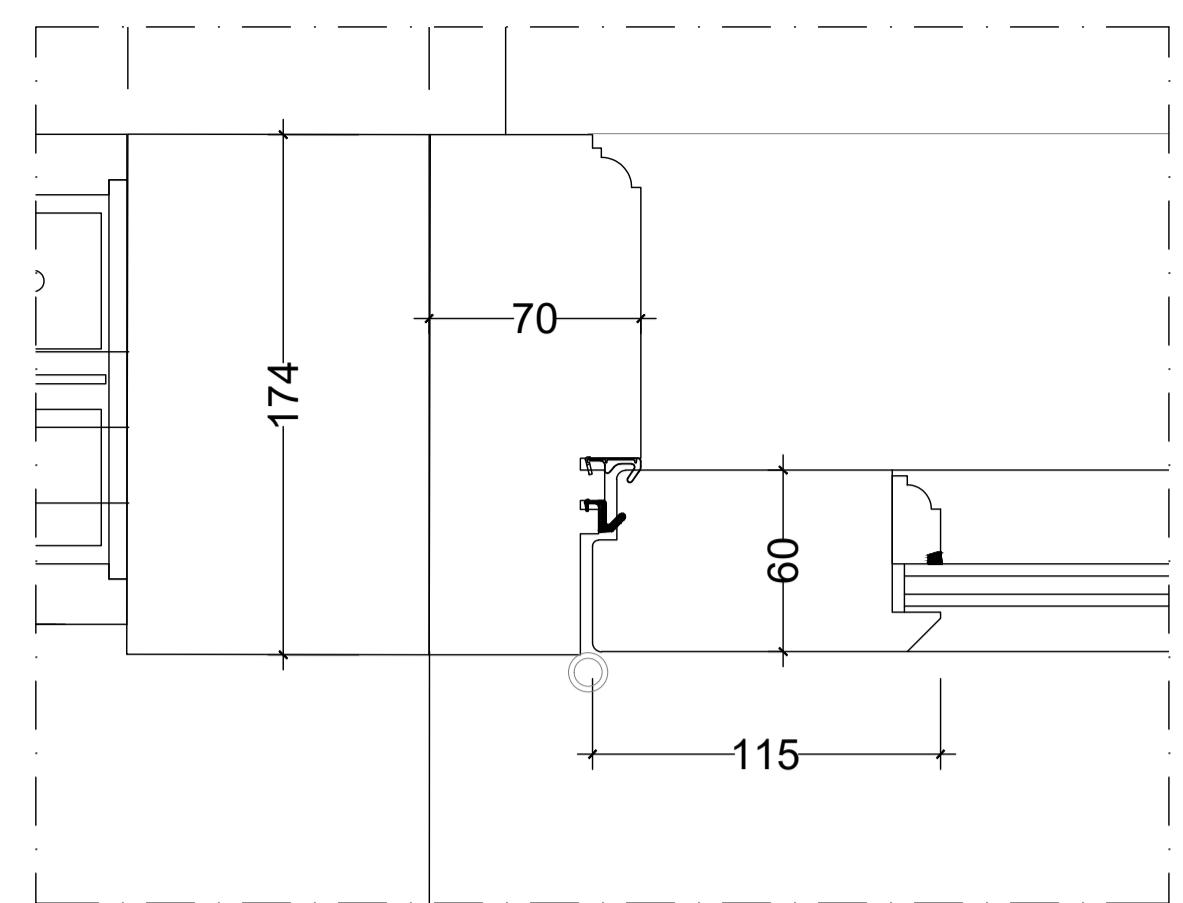
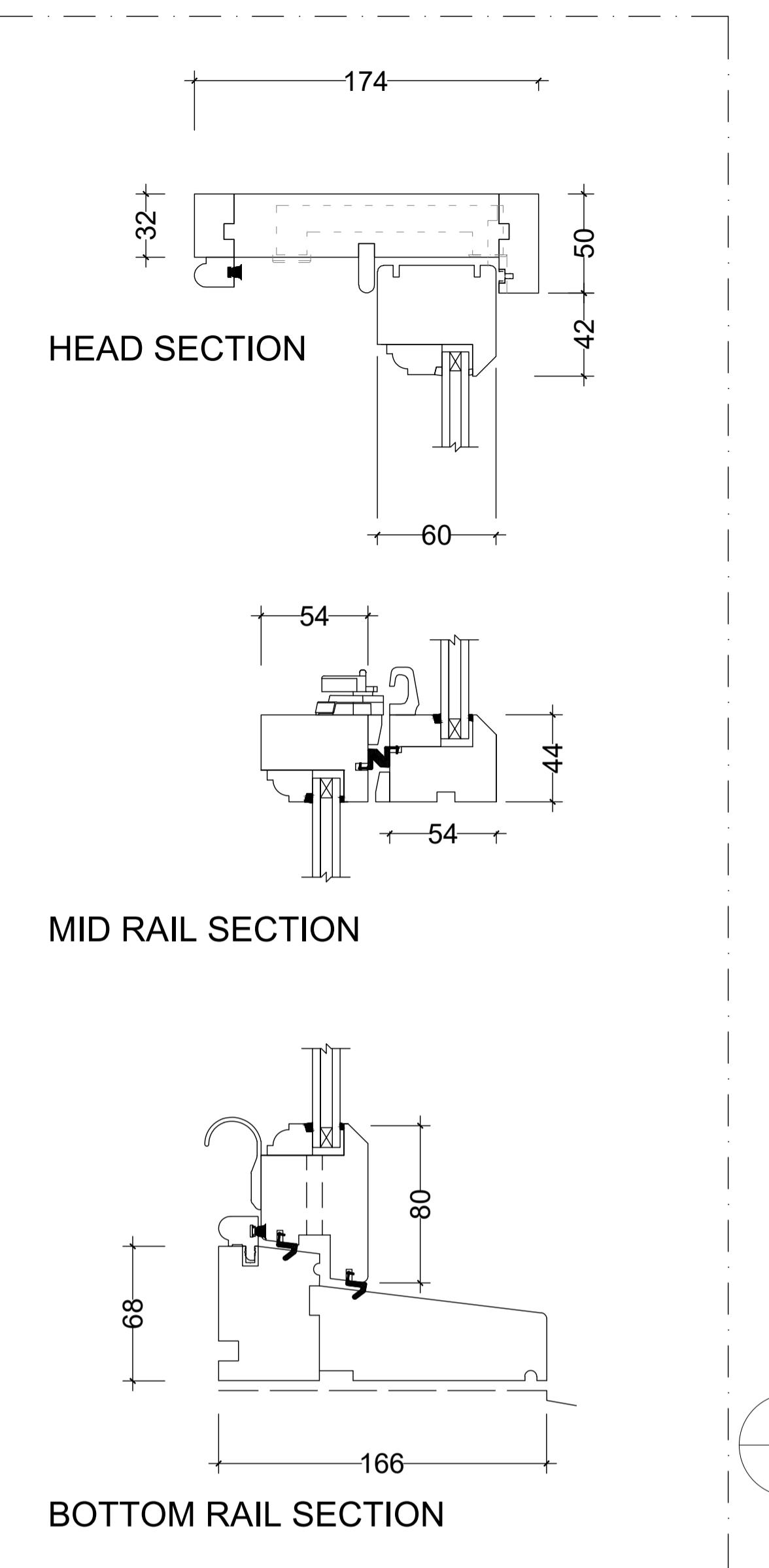
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 MR A KISZCZUK

DRAINAGE LAYOUT
 FIRST FLOOR

Scale 1:50/1:5 @ A1
 Date 11.01.2024
 Drawn RG
 Org. No. 277_03_132





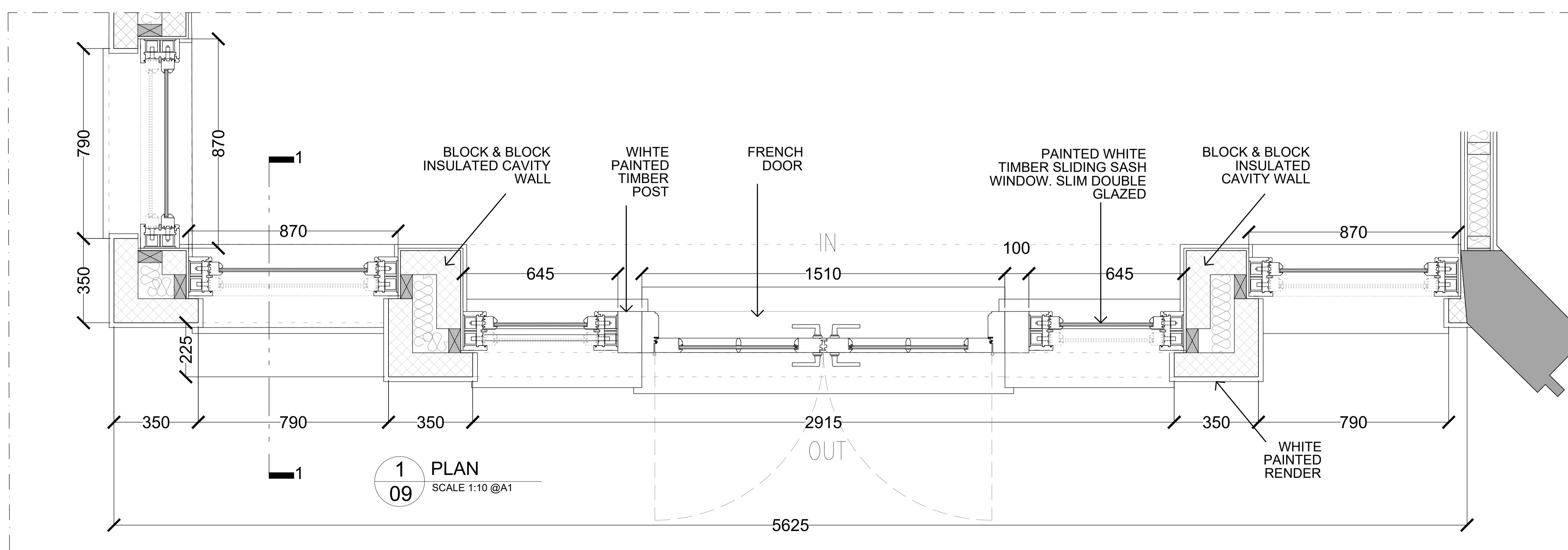
FOR DISCHARGE OF PLANNING CONDITION
NO 5 "WORKING DETAILS OF DOORS AND
WINDOWS AND RELATED JOINERY"
REF:242704 AND 242705 (APPROVED)

REFER TO DRAWING 277_09_101
FOR ELEVATION AND SECTION

NEW CONSERVATORY
FRAME/WINDOWS AND DOORS TO
BE IN HARDWOOD PAINTED IN
WHITE

0 50 100 150mm
1:2.5 @ A1

0 200 400 600mm
1:10 @ A1

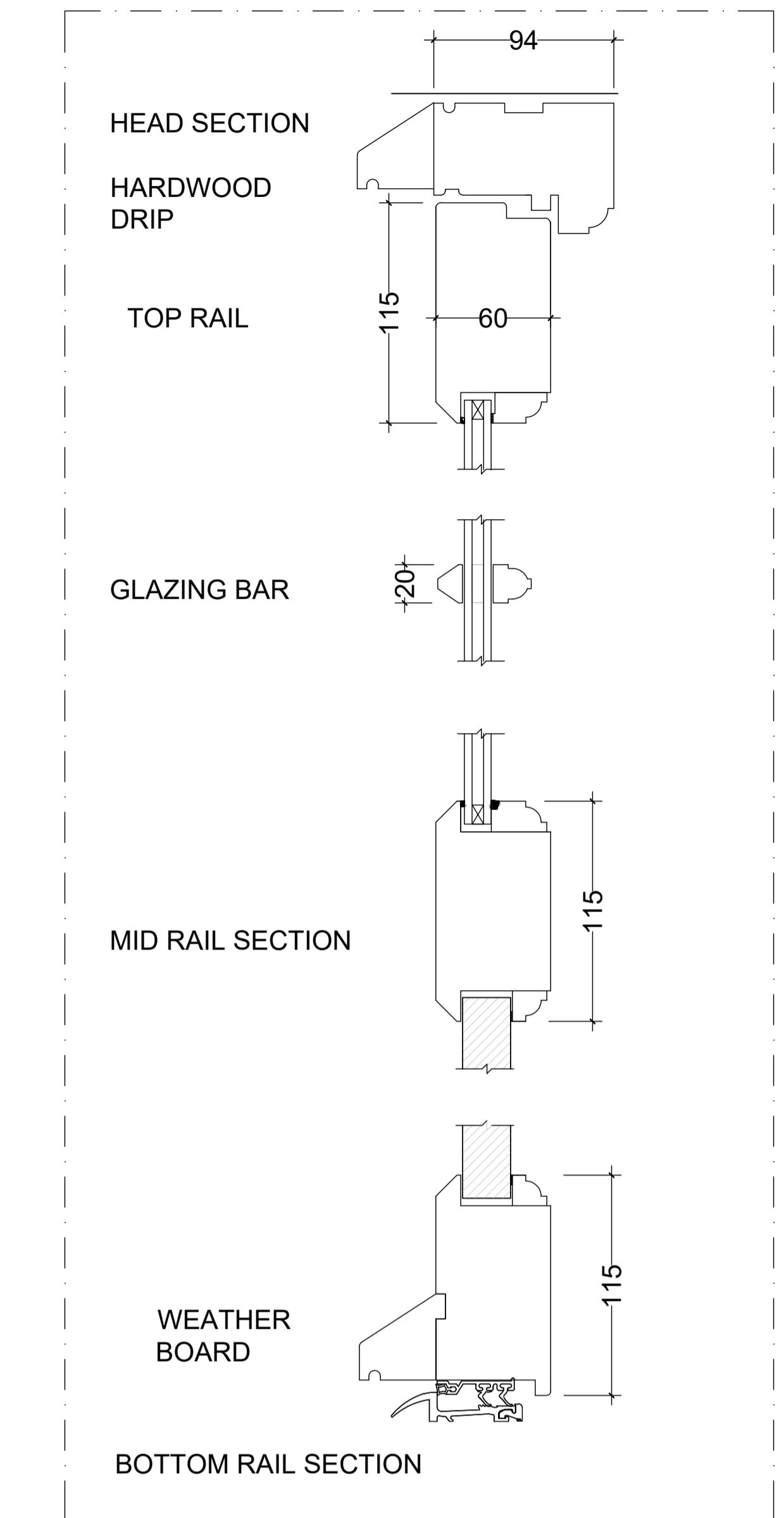
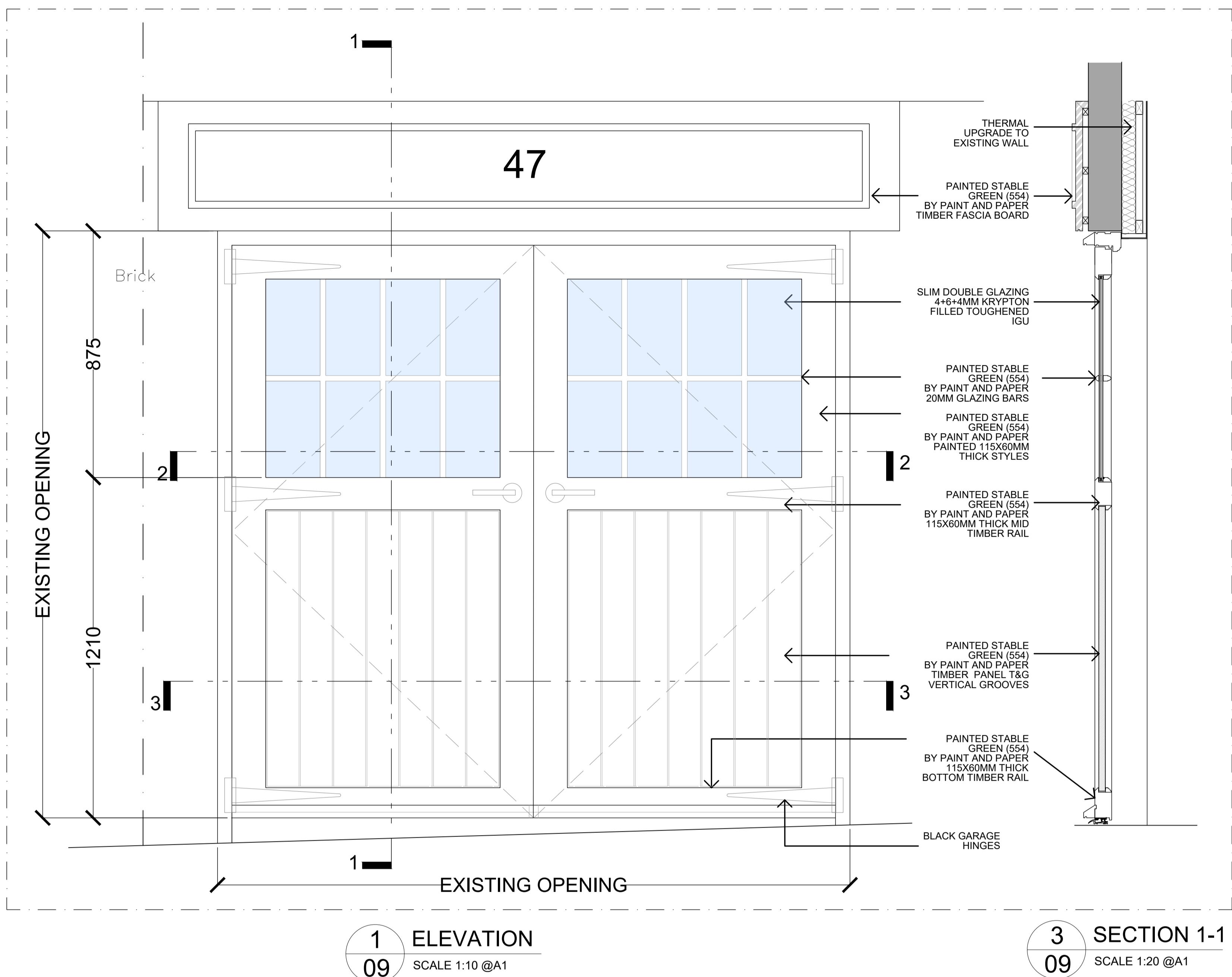


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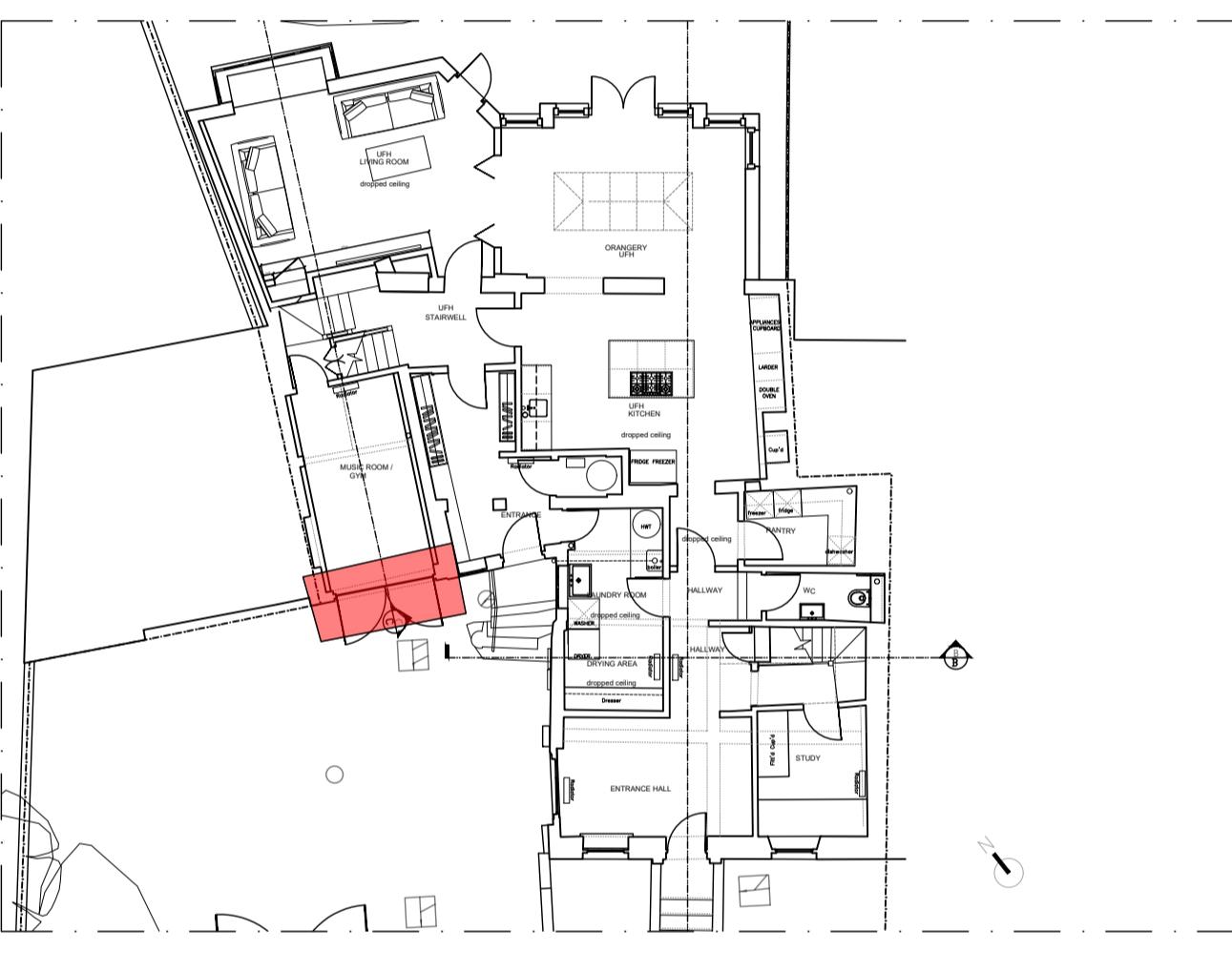
ORANGERY DOOR AND SASH
WINDOW PLAN AND DETAILS

Scale AS NOTED
Date 11.01.2024
Drawn RG
Dwg No 277_09_102



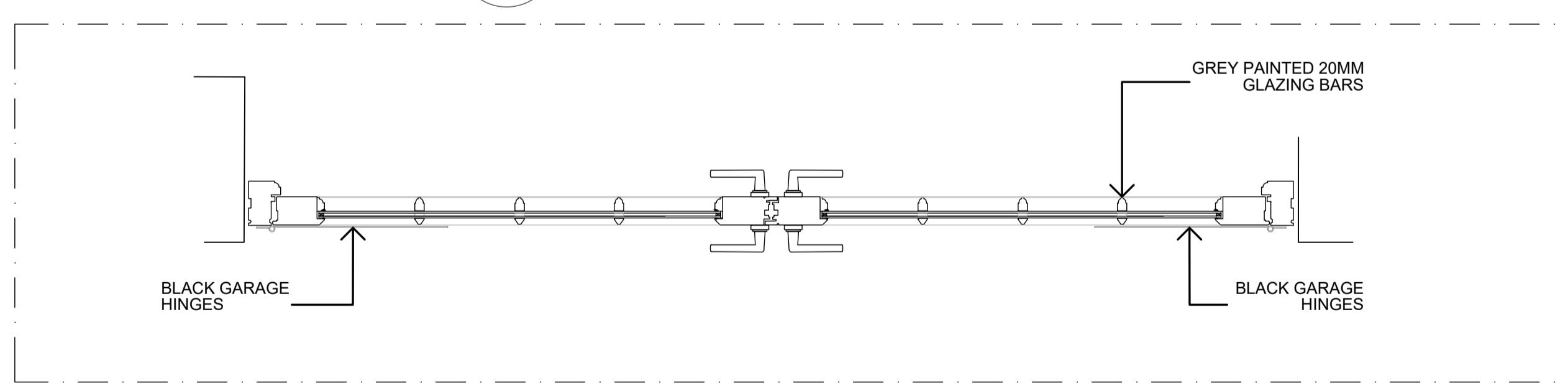
**FOR DISCHARGE OF PLANNING CONDITION
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WINDOWS AND RELATED JOINERY"
REF:242704 AND 242705 (APPROVED)**

**NEW GARAGE DOOR FRAME/GLAZING BARS
TO BE PAINTED IN STABLE GREEN (554) BY
PAINT AND PAPER
DOOR COMPONENTS ARE IN HARDWOOD**



4 SECTIONS

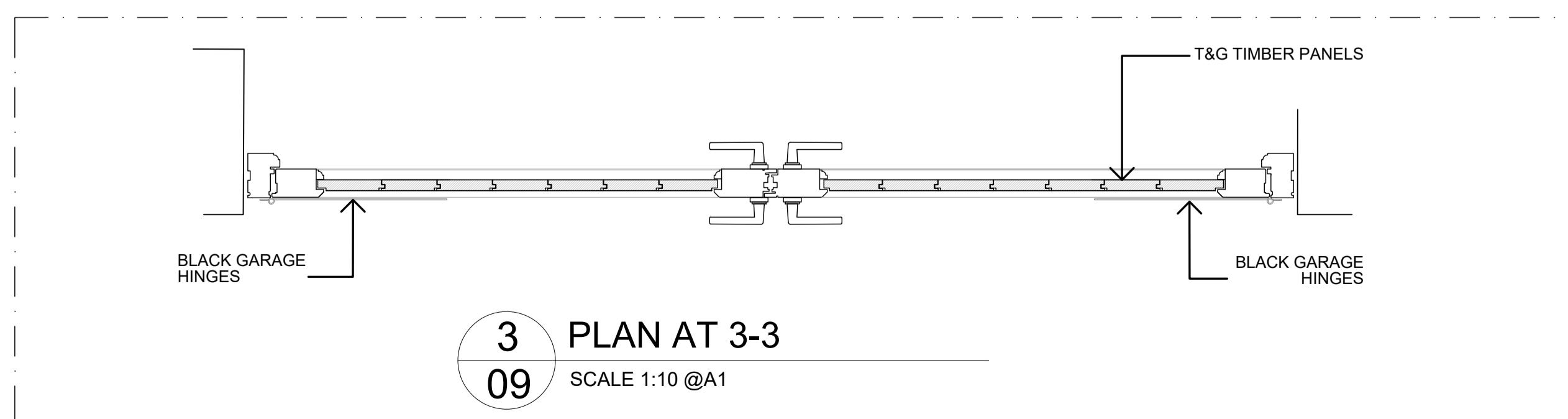
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2
09

PLAN AT 2-2

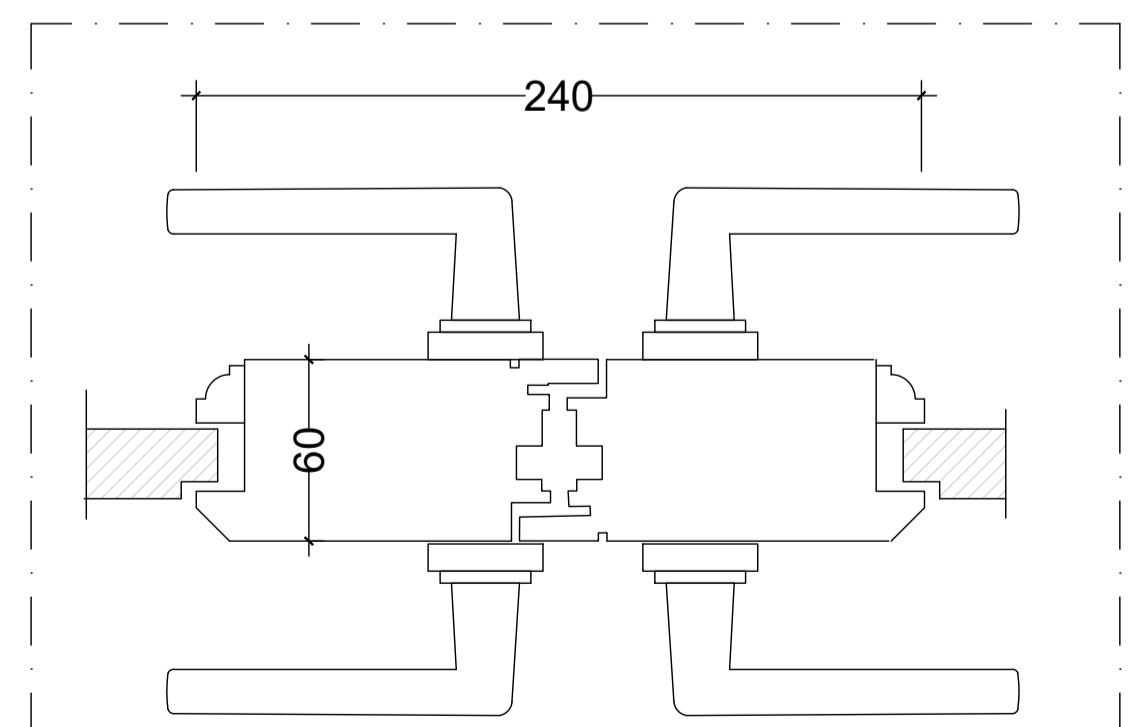
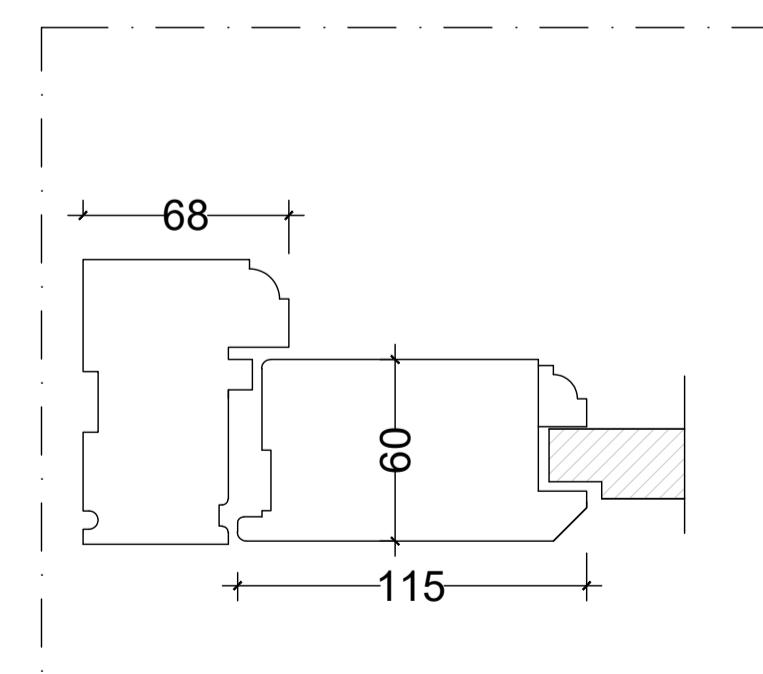
SCALE 1:10 @A1



3
09

PLAN AT 3-3

SCALE 1:10 @A1



5
09

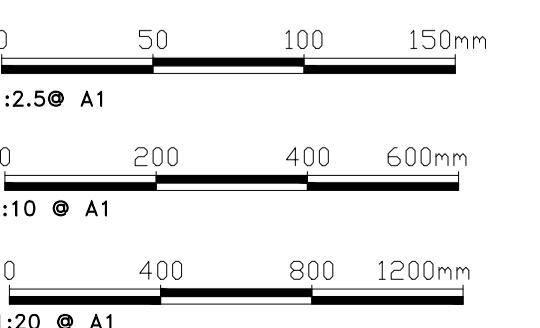
DOOR JAMB

SCALE 1:2.5 @A1/ 1:5@A3



MIDDLE STYLES

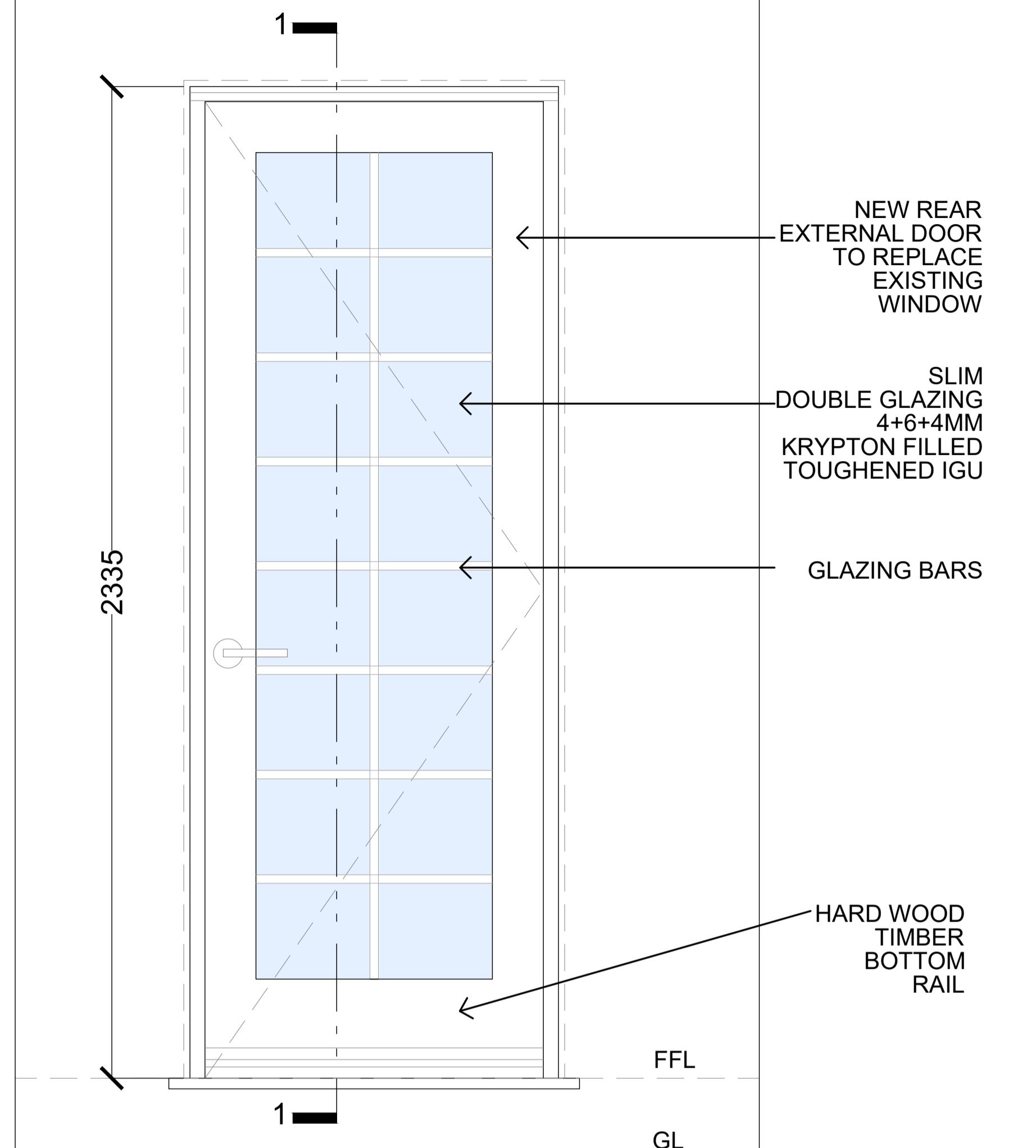
SCALE 1:2.5 @A1/ 1:5@A3



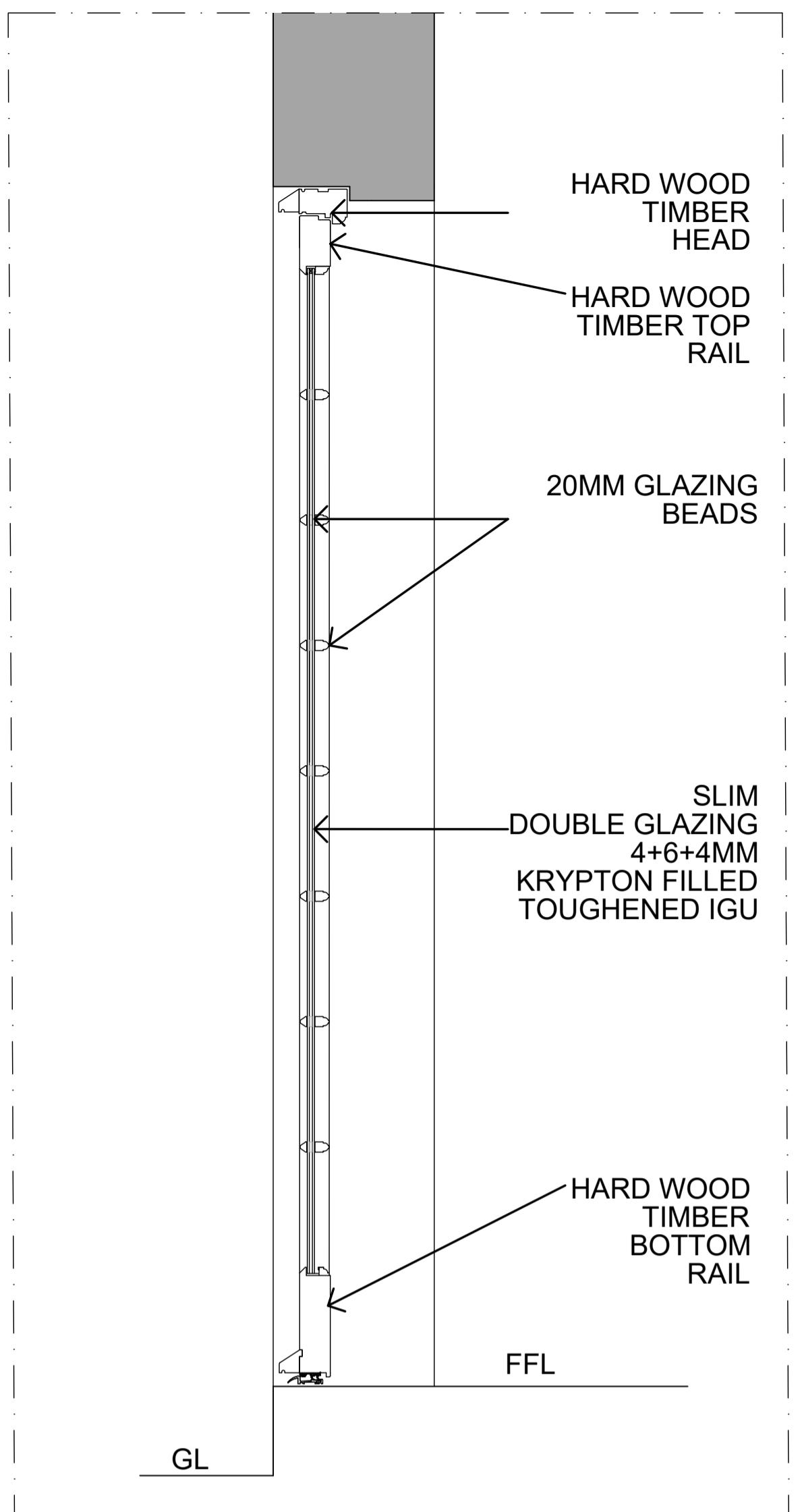
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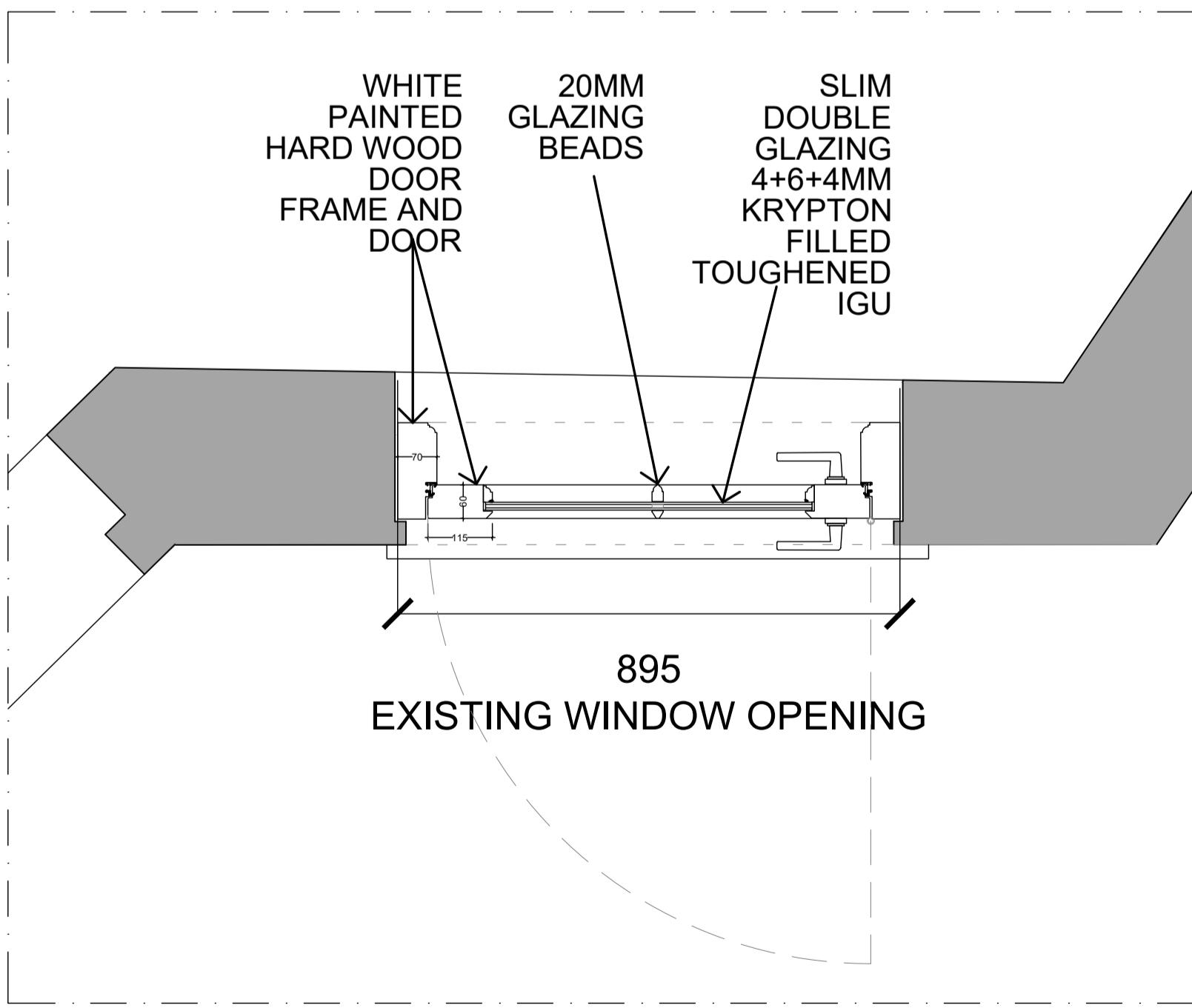
PROPOSED GARAGE DOOR PLAN, ELEVATION AND SECTIONS



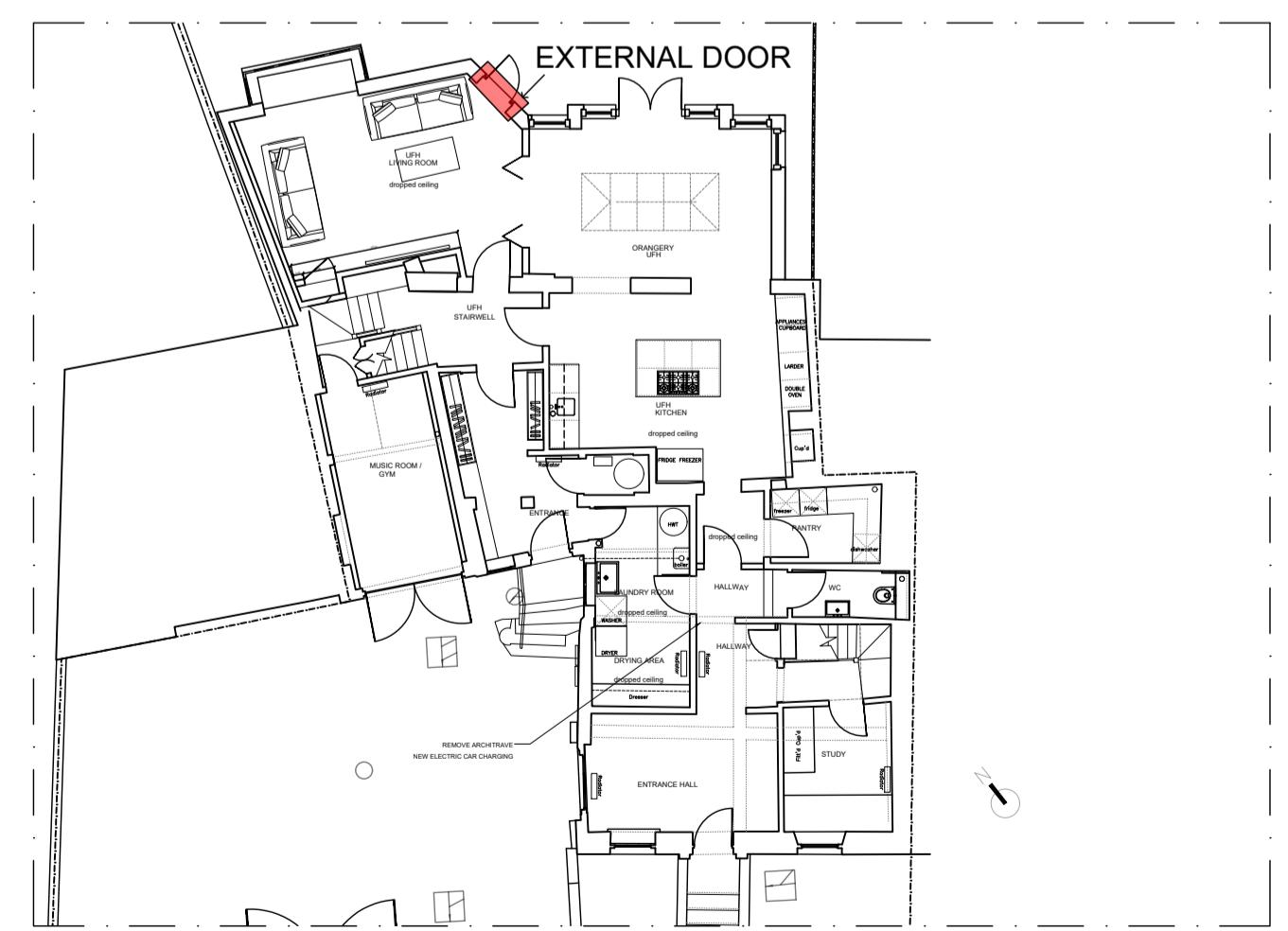
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09 ELEVATION
SCALE 1:10 @A1



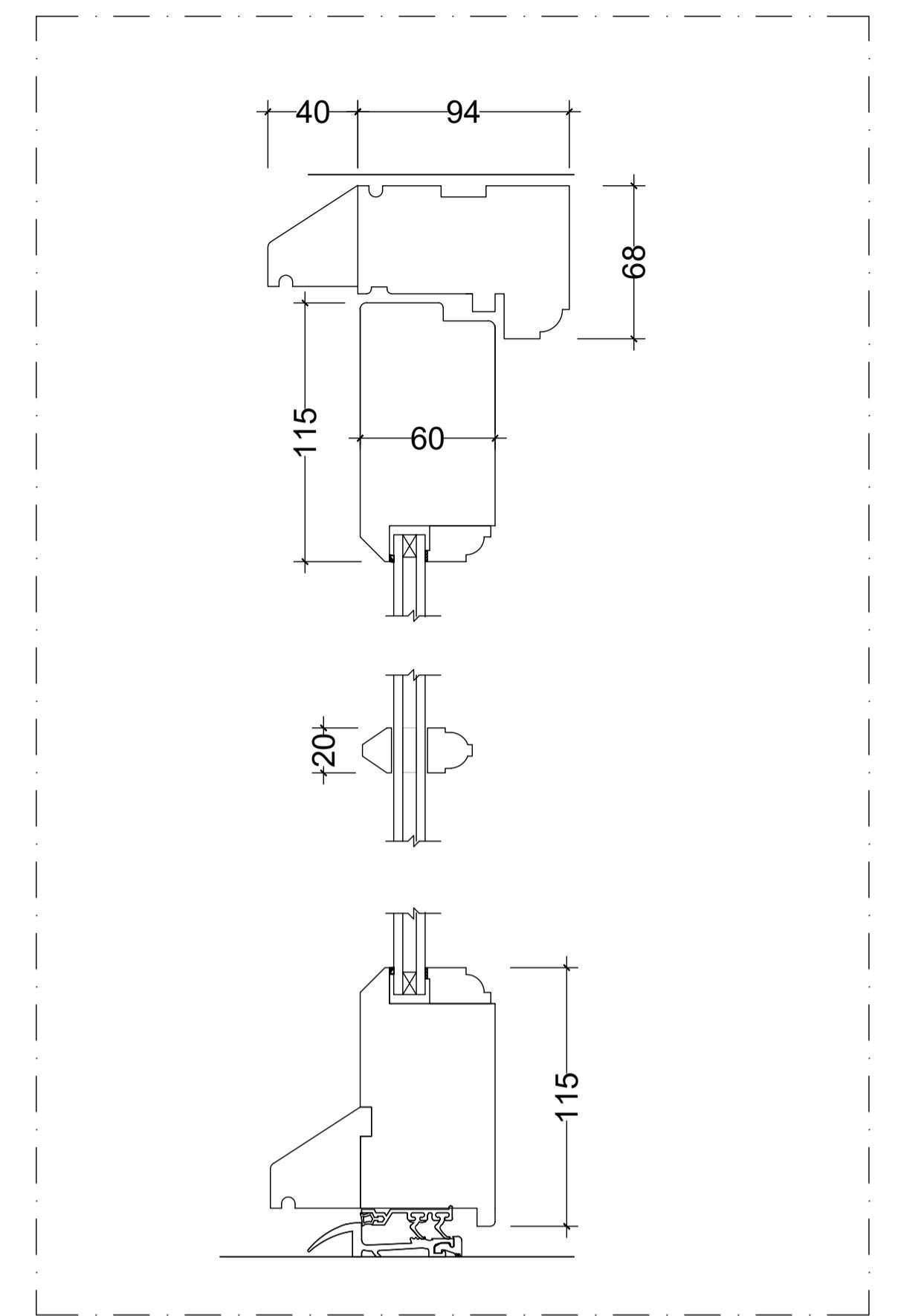
3
09 SECTION 1-1
SCALE 1:10 @A1



2
09 PLAN
SCALE 1:10 @A1



KEY PLAN



4
09 SECTIONS
SCALE 1:2.5 @A1/ 1:5 @A3



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STUDIO 121, 170 KENNINGTON LANE
LONDON
SE11 5DP
T: 020 73869 7618
M: 07775 287 285
W: ajkad.co.uk
E: info@ajkad.co.uk

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REF:242704 AND 242705 (APPROVED)

47, THE TERRACE,
WOKINGHAM,
BERKSHIRE,
RG40 1BP
MR A KISZCZUK

PROPOSED EXTERNAL REAR
DOOR PLAN ELEVATION AND
SECTIONS

Scale AS NOTED
Date 11.01.2024
Drawn RG
Org. No. 277_09_104