

External Level Notes

- This drawing to be read in conjunction with and checked against all other drawings, engineering details, specification and any structural, geotechnical or other specialist document provided.
- All low spots to have yard gullies in roads and channels/ gullies in pedestrian areas.
- Where dwellings require compliance with Lifetime Homes or Code for Sustainable Homes, a level access shall be provided to all dwelling entrances with principal path gradients no steeper than 1:60 with 1:40 crossfall. Where this cannot be achieved due to topography, the following shall apply to meet the minimum requirements of Building Regulations Part M for Visitable Dwellings Category M2:
 - Requirements for gradients (M2 category):
 - Level approach - gradient of approach does not exceed 1 in 21 and has a width not less than 900mm.
 - Ramped approach - gradient of approach not exceed 1 in 20 for length up to 10m, 1 in 15 for length up to 5m and 1 in 12 for lengths up to 2m and has a width not less than 900mm (private) or 1200mm (communal) with level landings at top and bottom of ramps.
 - Stepped approach - rise of flight between landings does not exceed 1.8m. Landing lengths not less than 900mm, 280-425mm going, uniform 150-170mm max riser. Handrails to be provided where 3 or more risers are indicated.
 - Principal access to be front door unless indicated otherwise.
 - For threshold detail to principal access, refer to architects drawings.

Slope Stability Note:
All slopes exceeding 1:3 to be assessed for stability by a suitably qualified Geotechnical Engineer and/or designed by specialist.

Private External Levels Legend

- Site boundary
- Proposed level
- Gradient
- Proposed impermeable block paving and fin drain
- Linear drainage channel
- Private oad gully
- Private yard gully
- Plot finished floor level DPC level, refer to architects details
- Proposed road contour levels (0.1m intervals)
- Proposed banking in soft landscaped areas (max 1:3 unless stated otherwise)
- Private rain garden



General Notes

- Where this drawing has been issued in electronic .dwg format, it has been done so in good faith. JNP Group do not take any responsibility for any inaccuracies in the electronic data, which should be checked against the paper (or .pdf) drawing issue. Any apparent discrepancies should be immediately reported to JNP Group. The electronic .dwg file should not be assumed to be to scale and should not be used for 'overlaying', setting out or checking of any third party information. All dimensions should be taken from the paper (or .pdf) version of the drawing. Electronic drawings may contain third party information. JNP Group take no responsibility for this information, which should be checked against the originators paper drawing(s).
- All dimensions are millimetres (mm), and levels are in metres (m) unless noted otherwise and should be checked on site prior to construction/fabrication.
- Do not scale from this drawing. Only figured dimensions are to be relied upon. Don't hesitate to get in touch with JNP Group if additional information is required.
- Any discrepancies between drawings of different scales and between drawings and specifications, where appropriate, to be reported to JNP Group for decision.
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- This drawing should only be used for construction if the drawing status is "A4 - Approved/Stage Complete". JNP Group takes no responsibility for construction works undertaken to drawings that are not marked with this status.

Health & Safety Note
The details on this drawing have been prepared on the assumption that a competent contractor will be carrying out the works. If the contractor(s) considers that there is insufficient Health and Safety information on this drawing, this should immediately be brought to the attention of the designer.

HAZARD IDENTIFICATION BOX			
This table is provided to assist the Principal Contractor to fulfill their obligations under the CDM Regulations 2015			
Hazard Ref	Hazard Type	Hazard Description	Mitigation Measures/ Residual Risk
1	Construction	Banking steeper than 1:3	To be assessed for stability by a suitably qualified Geotechnical Engineer and/or designed by specialist.
2	Construction	Tie-in levels along NMRE based on WMHP-PBA-NMRE-DR-HI-0117 as built drawing issue (C02)	Contractor to check all tie-in points are as per the as-built drawings.

Rev	Date	Description	Drawn / Checked / Approved
P01	17/09/2025	First Issue	CS/CS/KM
Subsidiary			

S4 - Suitable for Stage Approval

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Client	CALA Homes Thames Ltd.
Job	Neighbourhood Centre, Hogwood Farm
Title	Proposed External Levels Layout

Classification	FL_60_20				
Scale @ A1:	1:250	Accredited Contractor	Accredited Contractor	Accredited Contractor	Supplier No. 00000

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