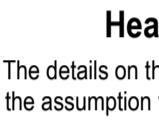


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- All dimensions are millimetres (mm), and levels are in metres (m) unless noted otherwise and should be checked on site prior to construction/fabrication.
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Health & Safety Note
The details on this drawing have been prepared on the assumption that a competent contractor will be carrying out the works. If the contractor(s) considers that there is insufficient Health and Safety information on this drawing, this should immediately be brought to the attention of the designer.

HAZARD IDENTIFICATION BOX

HAZARD IDENTIFICATION BOX			
This table is provided to assist the Principal Contractor to fulfil their obligations under the CDM Regulations 2015			
Hazard Ref	Hazard Type (Construction/Materials/Contaminants/Equipment)	Hazard Description	Mitigation Measures/Residual Risk
	Construction	Banking steeper than 1:3	To be assessed for stability by a suitably qualified Geotechnical Engineer and/or designed by specialist.
	Construction	Tie-in levels along NMRE based on WMHP-PBA-NMRE-DR-HI-117 as-built drawing issue (C02)	Contractor to check all tie-in points are as per the as-built drawings.

P01	17/09/2023	First Issue	CS/CS/KM
Rev.	Date	Description	Dim / Chkd / Appd
Suitability: S4 - Suitable for Stage Approval			
 JNP GROUP CONSULTING ENGINEERS Amersham • Belfast • Brighouse • Bristol Hartlepool • Sheffield • Warwick www.jnpgroup.co.uk			
Client: CALA Homes Thames Ltd.			
Job: Neighbourhood Centre, Hogwood Farm			
Title: Proposed External Levels Layout			
Classification:	FI_60_20	Scale @ A1:	  
Revision:	P01	1:250	Supplier No: 000000
SA00392-2002-C-LVL			

External Level Notes

- This drawing to be read in conjunction with and checked against all other drawings, engineering details, specification and any structural, geotechnical or other specialist document provided.
- All low spots to have yard gullies in roads and channels/ gullies in pedestrian areas.
- Where dwellings require compliance with Lifetime Homes or Code for Sustainable Homes, a level access shall be provided to all dwelling entrances with principal path gradients no steeper than 1:60 with 1:40 crossfall. Where this cannot be achieved due to topography, the following shall apply to meet the minimum requirements of Building Regulations Part M for Visible Dwellings Category M2:

 - Requirements for gradients (M2 category):
 - Level approach - gradient of approach does not exceed 1 in 21 and has a width not less than 900mm.
 - Ramped approach - gradient of approach not exceed 1 in 20 for length up to 10m, 1 in 15 for length up to 5m and 1 in 12 for lengths up to 2m and has a width not less than 900mm (private) or 1200mm (communal) with level landings at top and bottom of ramps.
 - Stepped approach - rise of flight between landings does not exceed 1.8m. Landing lengths not less than 900mm, 280-425mm going, uniform 150-170mm max riser. Handrails to be provided where 3 or more risers are indicated.
 - Principal access to be front door unless indicated otherwise.
 - For threshold detail to principal access, refer to architects drawings.



Slope Stability Note:

All slopes exceeding 1:3 to be assessed for stability by a suitably qualified Geotechnical Engineer and/or designed by specialist.

Private External Levels Legend

	Site boundary
	Proposed level
	Gradient
	Proposed impermeable block paving and fin drain
	Linear drainage channel
	Private oad gully
	Private yard gully
	Plot finished floor level DPC level, refer to architects details
	Proposed road contour levels (0.1m intervals)
	Proposed banking in soft landscaped areas (max 1:3 unless stated otherwise)
	Private rain garden

