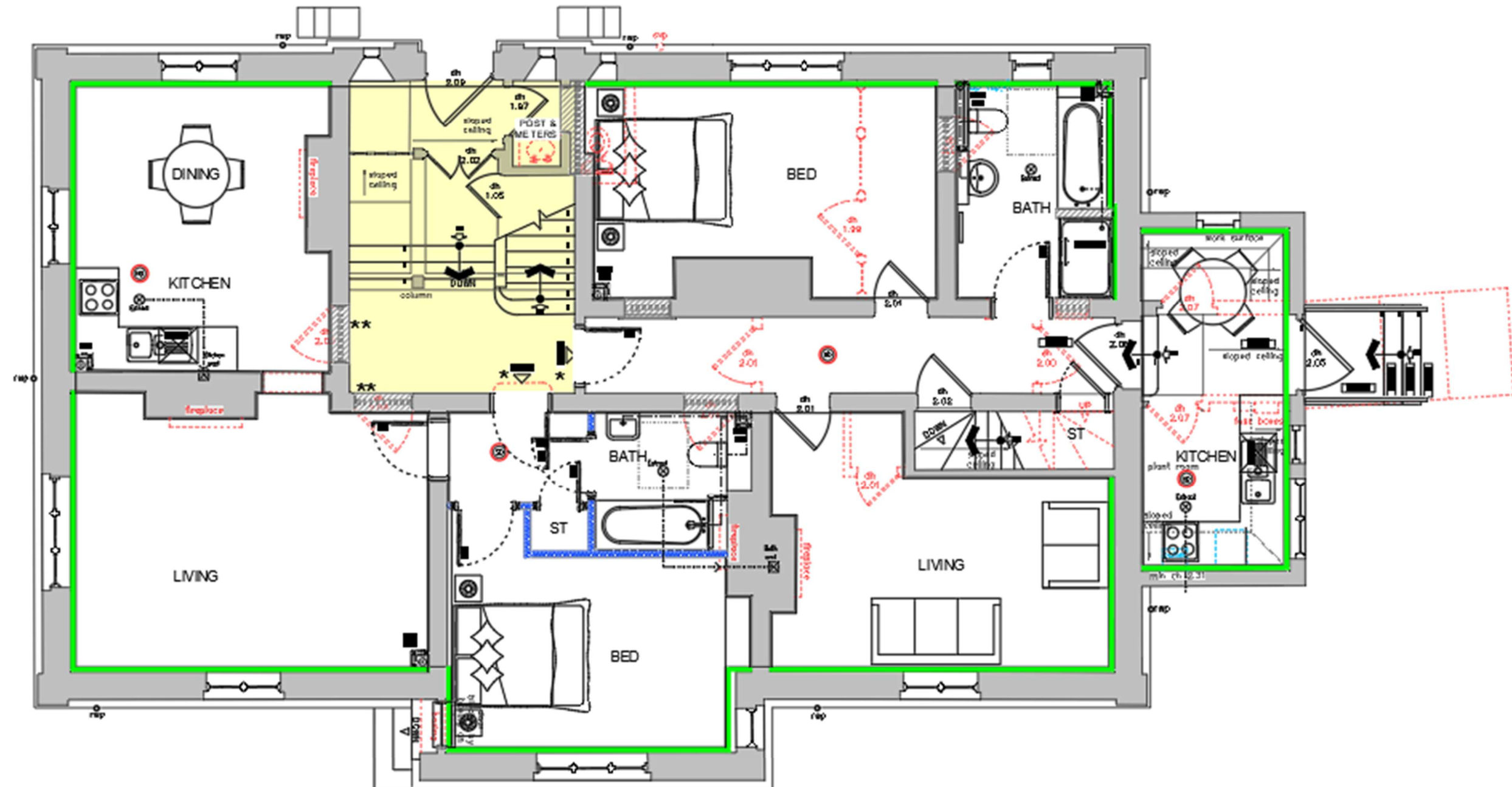
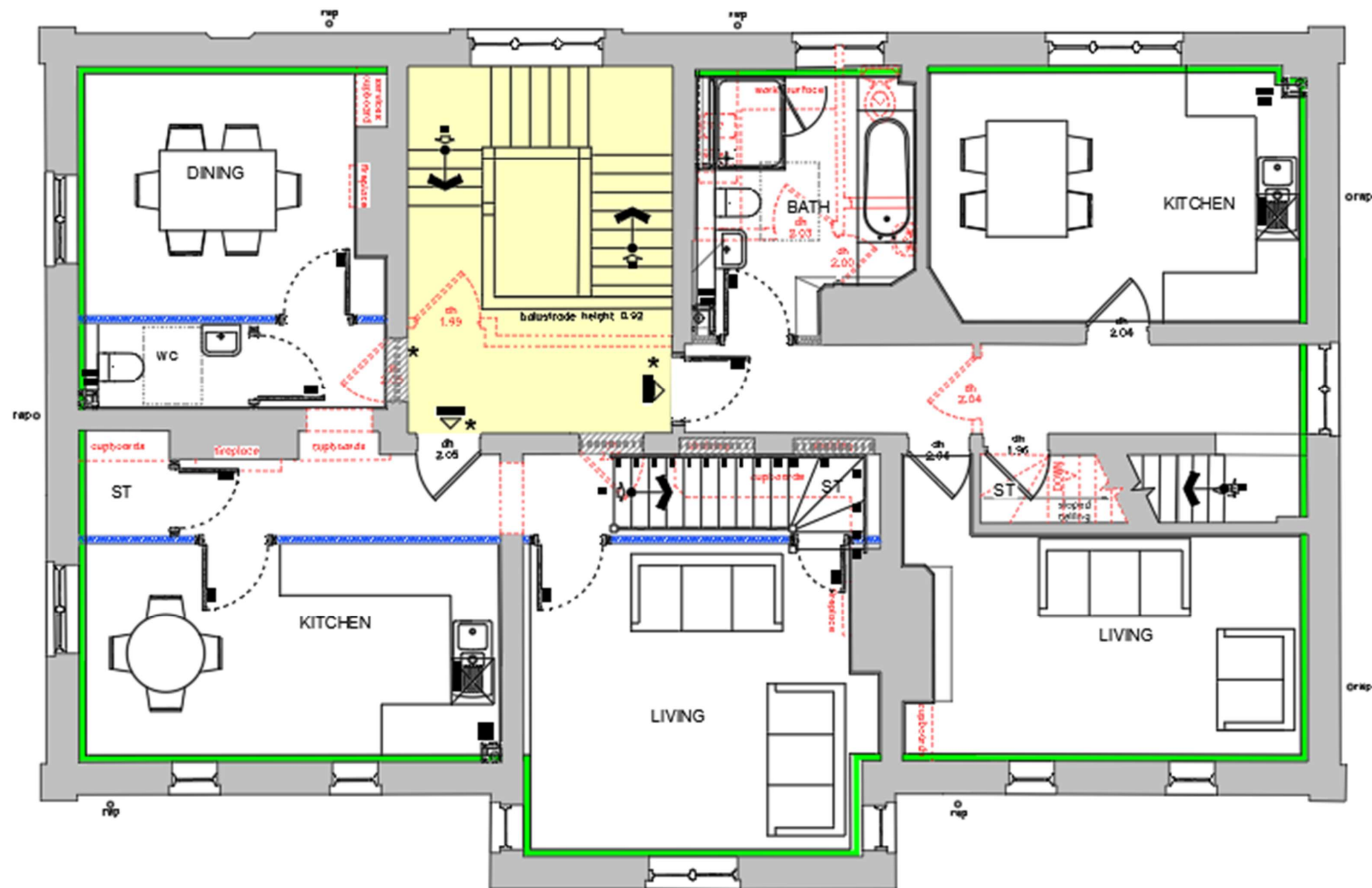


Communal ground floor Location Plan  
(For reference only)



Communal first floor Location Plan  
(For reference only)



#### General description

Existing ground and first floor main stair area, ladies lavatory, entrance lobby and landing. Existing wood paneling, stairs, handrails, balustrade and columns/newels are all to be protected from damage.

Structural engineer to confirm ground and first floor construction. Ladies' lavatory to be repurposed to post and meters room.

Existing timber paneling to be protected from damage during building refurbishment.

#### Demolition and Strip-out – refer to drawing numbers 25-J4803-11-002 ground floor plan & 25-J4803-11-003 first floor plan

- 1- Ground floor ladies' lavatory to be stripped out and furniture/sanitaryware removed. Remove internal wall where indicated on plan. Existing door to be renovated and re-used in place for meter room / post room.
- 2- First floor lobby partition and door to be carefully removed.
- 3- Strip out old wiring, light fittings, sockets, switches and fire panel
- 4- Remove and dispose of existing plaster lath ceiling
- 5- Remove and dispose of carpet.
- 6- Remove and dispose of notice board.
- 7- Remove and dispose of signage.

#### Refurbishment works – refer to drawing numbers 25-J4803-11-002 ground floor plan & 25-J4803-11-003 first floor plan

- 8- Replace ceiling with fire resistant plasterboard provide minimum 60 minute protection. Refer to detail drawing 16-001 and section E on drawing 13-001
- 9- Make good around demolished first floor partition.
- 10- Install boxing at upper ground floor level to for shallow depth service riser – ground to first only. Refer to ground floor plan and M&E consultants drawings
- 11- Infill ground floor wall in line of existing internal masonry wall to form post/meter room, refer to ground floor plan for location.
- 12- Install electrical infrastructure and meter boxes. Install smart meters – refer to M&E
- 13- Install fibre broadband infrastructure and distribution equipment. Refer to M&E consultants drawings.
- 14- Install fire panel and ov operation point. Refer to M&E consultants drawings.
- 15- Refurbish window where required and adjust window opening arrangement to receive fire service opening vent actuators. Refer to drawing 16-017 and M&E consultants drawings.
- 16- Existing landing window to be used as OV operated from fireman's switch at ground floor lobby level. Winder mechanisms to be installed. Existing latch to be fixed in open position to avoid clashing with OV operation.
- 17- Fix shut doors where indicated on ground and first floor plans and seal with fire rated sealant. Refer to details on drawing 16-003 and individual flat room data sheets.
- 18- Reinstated blocked door to from entrance to flat 1. Refer to ground floor plan. FD30S with self-closing device.
- 19- Install new flat 2 entrance door. FD30S with self-closing device.
- 20- Install new access and egress equipment. Refer to M&E consultants drawings.
- 21- Install wall light fittings to provide illumination.
- 22- Install new final exit sign above ground floor entrance lobby door. New illuminated signage to be compliant with current regulations. Escape signage to be located as fire engineer recommendations.

#### **Decoration and final finishes to Client's specification.**

#### Coordination

- 1- Structural engineer
- 2- Civil engineer
- 3- Waterproofing specialist
- 4- M&E engineer
- 5- Fire consultant
- 6- Acoustic specialist



Supporting images

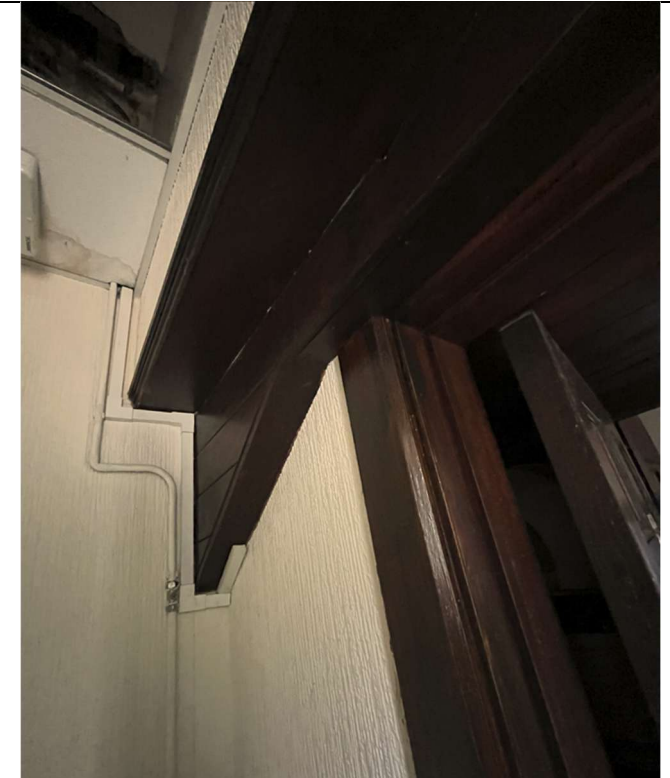
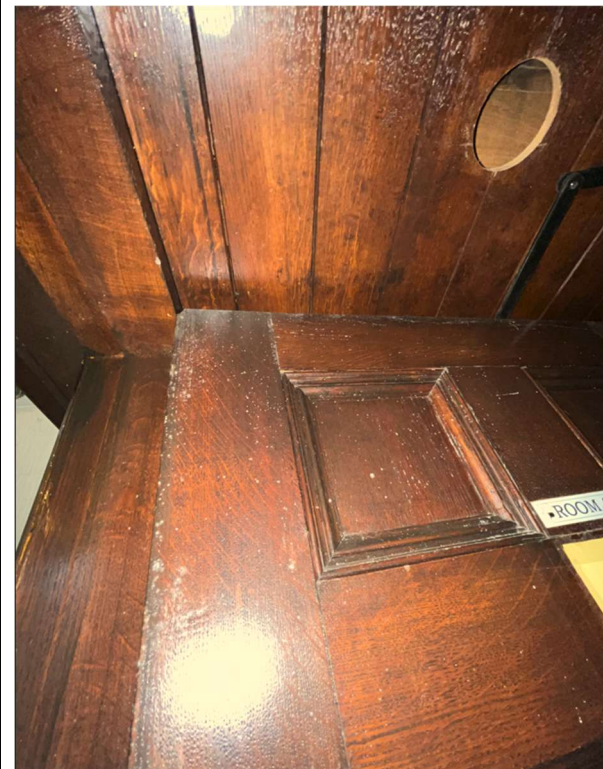
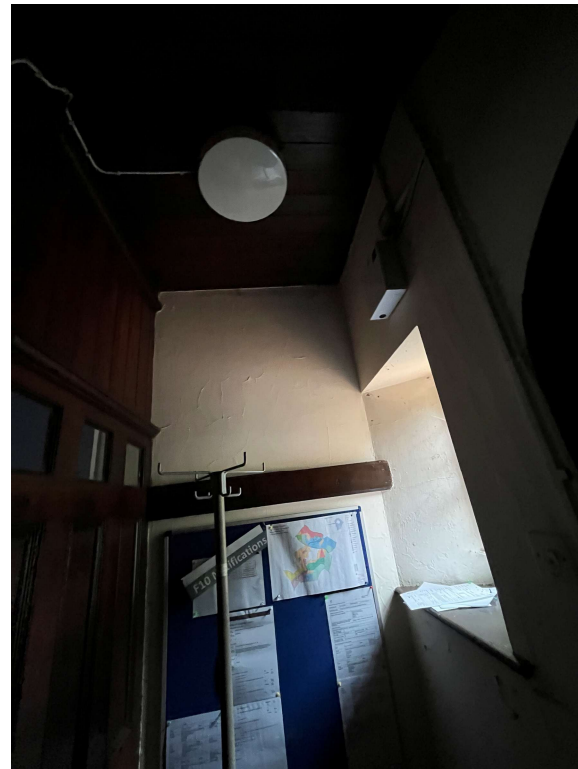


Figs 1 & 2 Communal entrance – External views



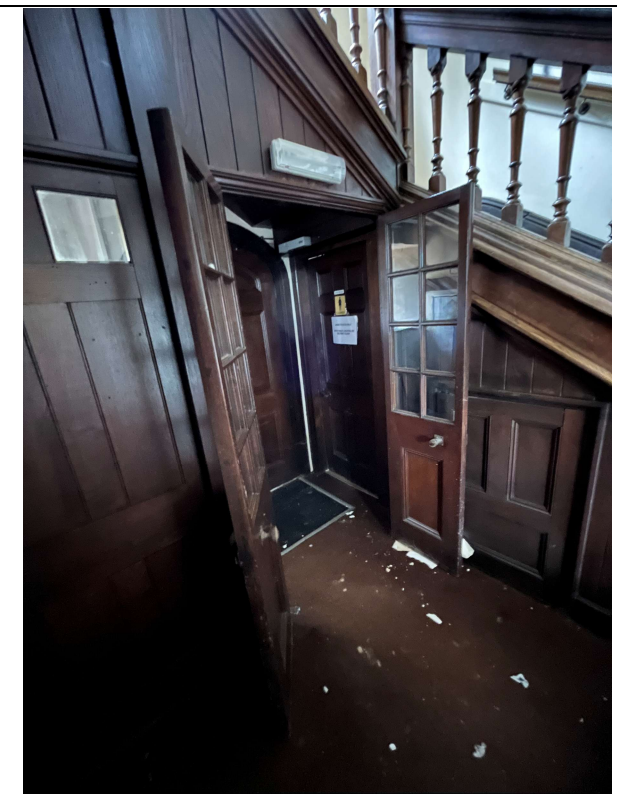
Figs 3 & 4 Communal entrance – Internal views





Figs 5 & 6 Communal entrance – Internal views

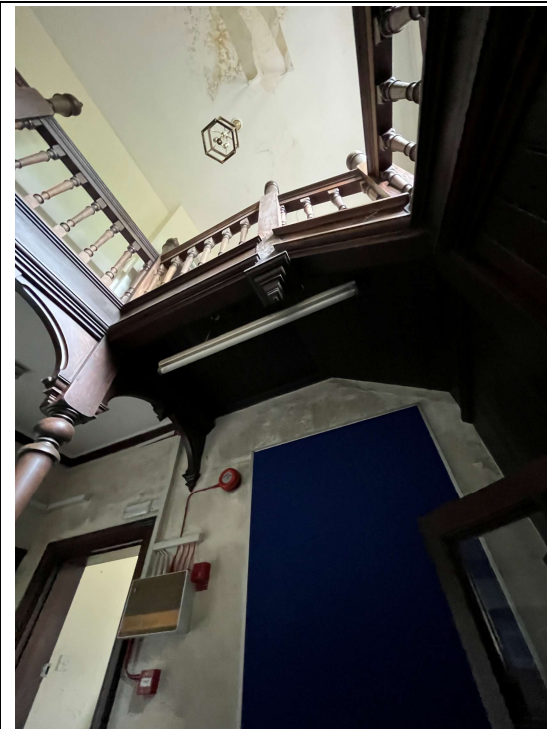
Figs 7 & 8 Existing Ladies lavatory timber panelling



Figs 9 & 10 Existing Ladies lavatory

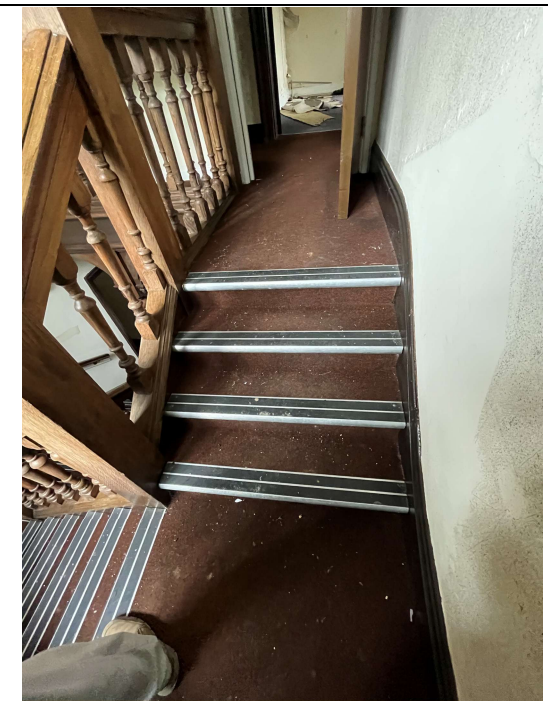
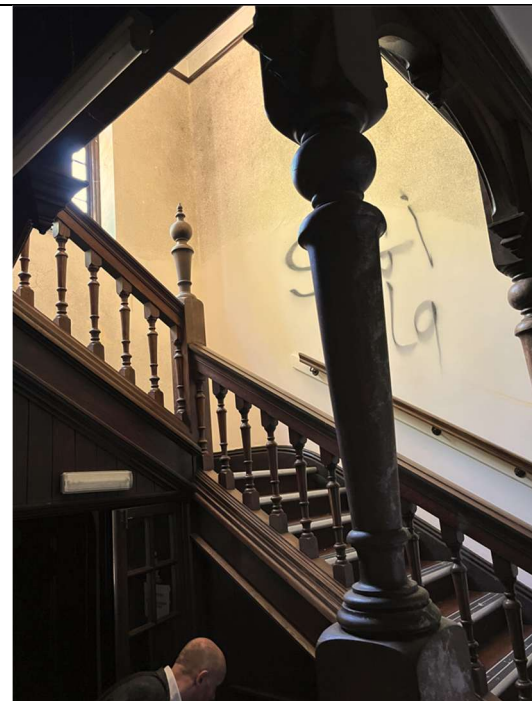
Figs 11 & 12 Existing lobby panelling





Figs 13 & 14 Communal stair area

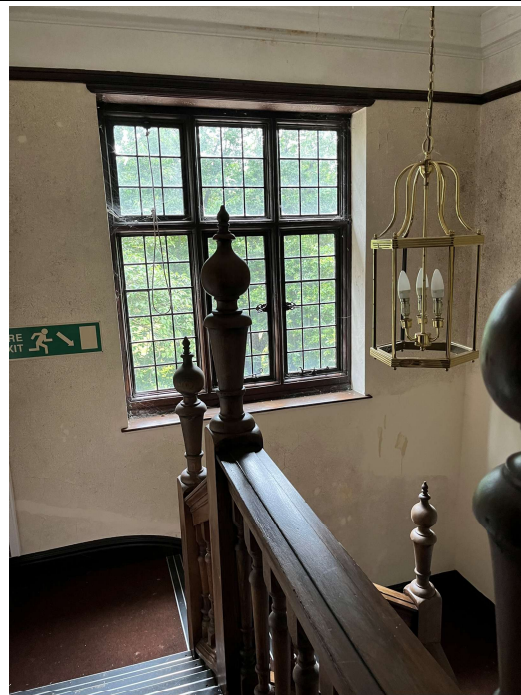
Figs 15 & 16 Communal stair area



Figs 17 & 18 Communal stair area

Figs 19 & 20 Communal stair area





Figs 21 & 22 Communal stair area

Figs 23 & 24 Communal stair area window

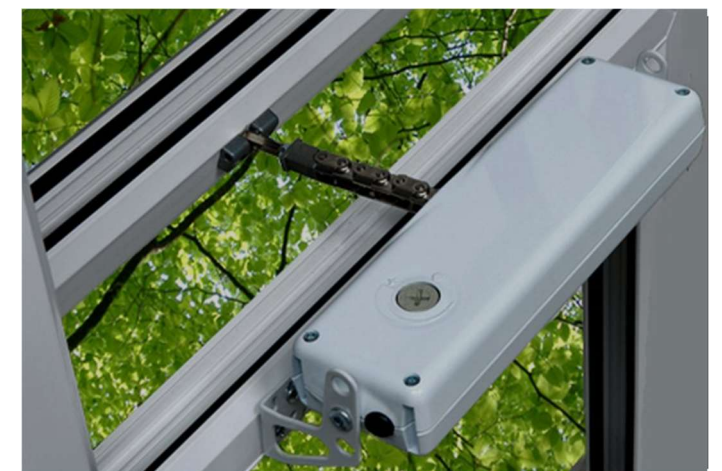


Fig 25 – Example of secondary glazing

Figs 26 & 27 examples of OV actuators