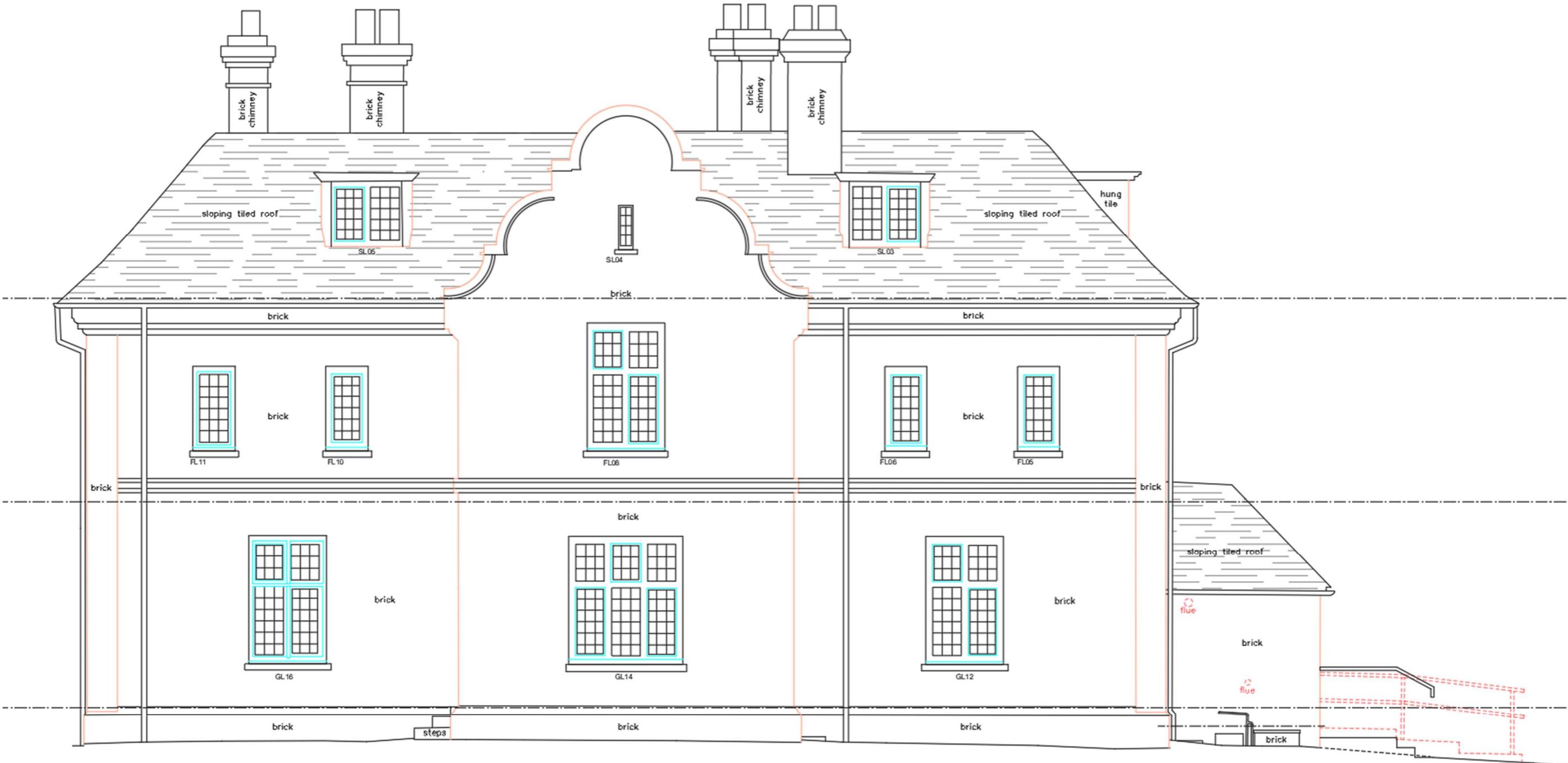


Front Elevation
(For reference only)



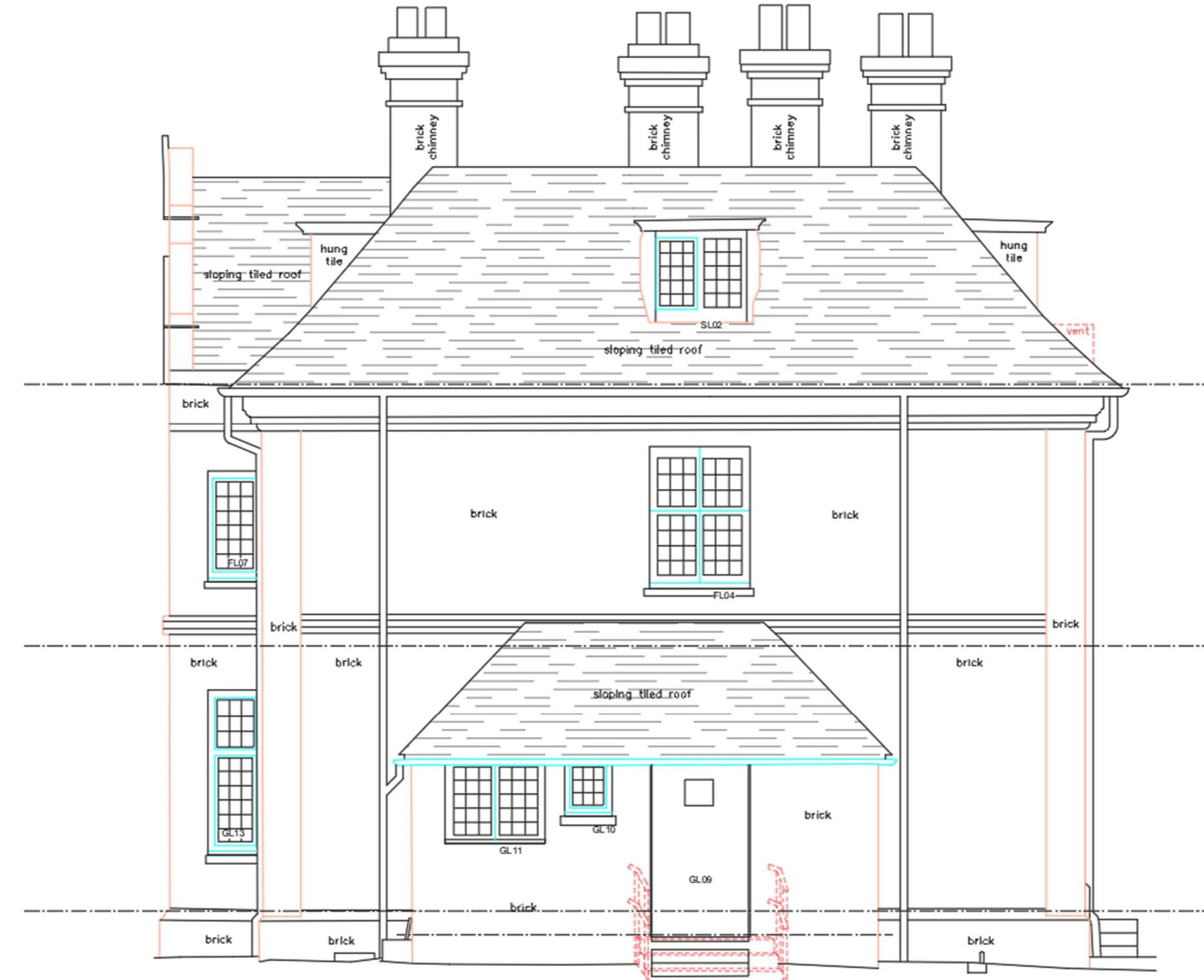
Rear Elevation
(For reference only)



Side Elevation
(For reference only)



Side Elevation
(For reference only)



General description

Existing office and meeting space to be refurbished into four residential flats.

Demolition and Strip-out – refer to drawing numbers 25-J4803-12-001 Front and Side Elevations & 25-J4803-12-002 Rear and Side Elevations

- 1- Remove existing SVPs from front elevation.
- 2- Remove existing ventilation housing and louvres from front elevation roof.
- 3- Remove existing service box from side elevation.
- 4- Remove existing side entrance steps and handrails.
- 5- Remove existing flues from rear elevation single storey plant room.
- 6- Remove redundant services from elevations.
- 7- Remove existing steps at rear elevation projection, refer to figures 6 & 7. Remove cill and infill panel under cill.

Refurbishment works – refer to drawing numbers 25-J4803-11-003 first floor plan & 25-J4803-11-004 second floor plan

- 1- Repair brickwork at removed services, flues, SVPs
- 2- Renovate main flat roof and single storey flat roof with single ply membrane. Colour to match lead.
- 3- Renovate dormer roofs
- 4- Renovate dormer windows
- 5- Replace plant-on dormer cheek cover strip
- 6- Renovate cheek flashing/soaker if necessary.
- 7- Replace dormer window cill lead flashings.
- 8- Replace damaged / missing clay plain roof tiles
- 9- Install replacement external door at proposed flat 2 kitchen. Refer to figures 8, 10 & 11. Door style and colour to match door shown in figure 8.
- 10- Install new steps and landing at proposed flat 2 kitchen door.
- 11- Install new slot drain at front door.
- 12- Install new door entry panel.
- 13- Install freestanding post box rack adjacent to main entrance.
- 14- Install bollard lights adjacent to front entrance door.
- 15- Install new discrete ventilation/svp tile vents.

Coordination

- 1- Structural engineer
- 2- MEP engineers
- 3- Fire consultant

Supporting images



Fig 1 Front elevation



Fig 2 Front entrance



Fig 3 ear elevation



Fig 4 Rear and Side elevation

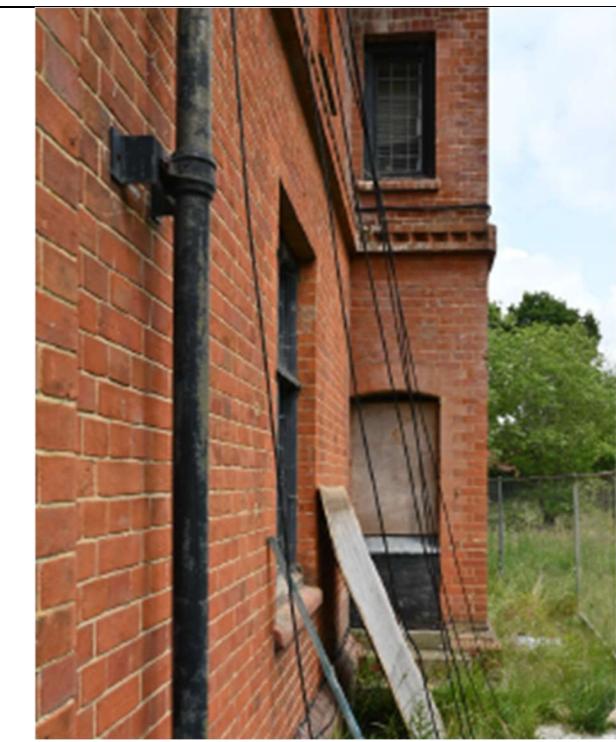


Fig 5 Side elevation



Figs 6 & 7 Part Rear Elevation & Projection



Figs 8 & 9 Single storey plant and cleaners rooms external facades

Figs 10 & 11 Side elevation



Figs 12 & 13 Typical dormers



Figs 14 & 15 Typical windows

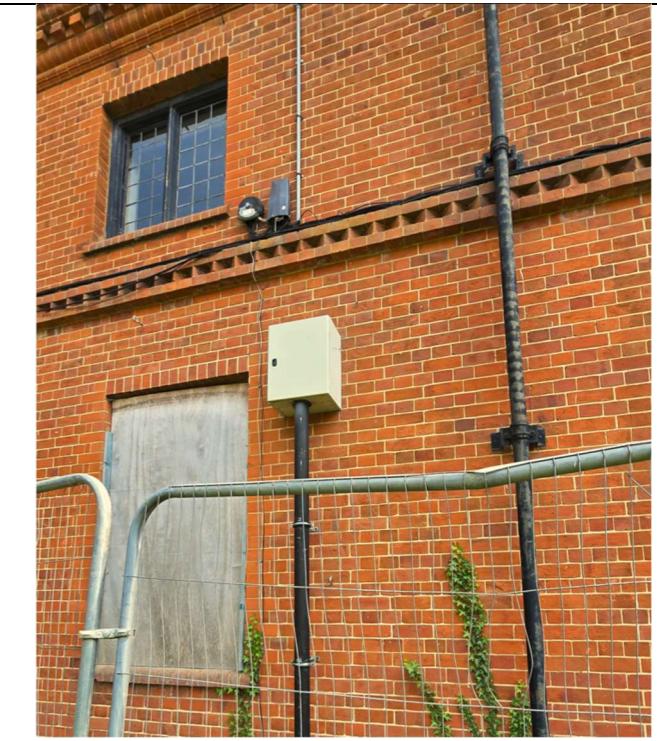


Fig 16 Example discrete tile vent by Klober or Titan