

ELEMENT 1:
PROPOSED APERTURE - DOOR: DG-01
 Allow provision for 1.no new aperture to be formed within the existing internal wall located off the staircase threshold to access new Utility Room.
 Note 1: Existing wall structure: timber stud. No Lintel required.

ELEMENT 2:
EXISTING APERTURE:
 Existing aperture inc. internal door, lining and architrave to be removed and all affected areas made good. Fill opening with Timber studs and clad both sides with Gypsum-based plasterboard.

ELEMENT 3:
HEATING:
 Existing Boiler (Worcester) located in the existing Cloakroom WC is to be removed and re-positioned to the adjoining side within Kitchen as denoted. Wall mounted within a kitchen cabinet.
 Note 1: Associated flue to run directly out to side external cavity wall to outside air.

ELEMENT 4:
PROPOSED APERTURE - DOOR: DG-02
 Allow provision for 1.no new aperture to be formed within the proposed timber stud partition wall to create access into new Toilet.
 Note 1: Restricted head room due to low-level soffit within vicinity of existing single storey element. Contractor to adjust Architrave to suit.
 Note 3: Contractor to ensure adequate clear headroom above toilet is achieved within a sloping soffit to staircase condition.

ELEMENT 5:
PROPOSED CLOAKROOM/SHOWER ROOM
 Allow provision for a 3-piece arrangement: -
 WC - Assume close-coupled
 WHB - Assume wall mounted (shallow depth)
 Shower - Assume shallow tray: 800mm (depth) x 900mm (wide)
 Note 1: Existing Stub Stack is to be retained in corner of space and adapted to accommodate new branch waste from Toilet Inc. WHB and Shower. Appointed Contractor to run WC waste below ground to prevent unsightly low-ht boxing within new Cloakroom toilet.

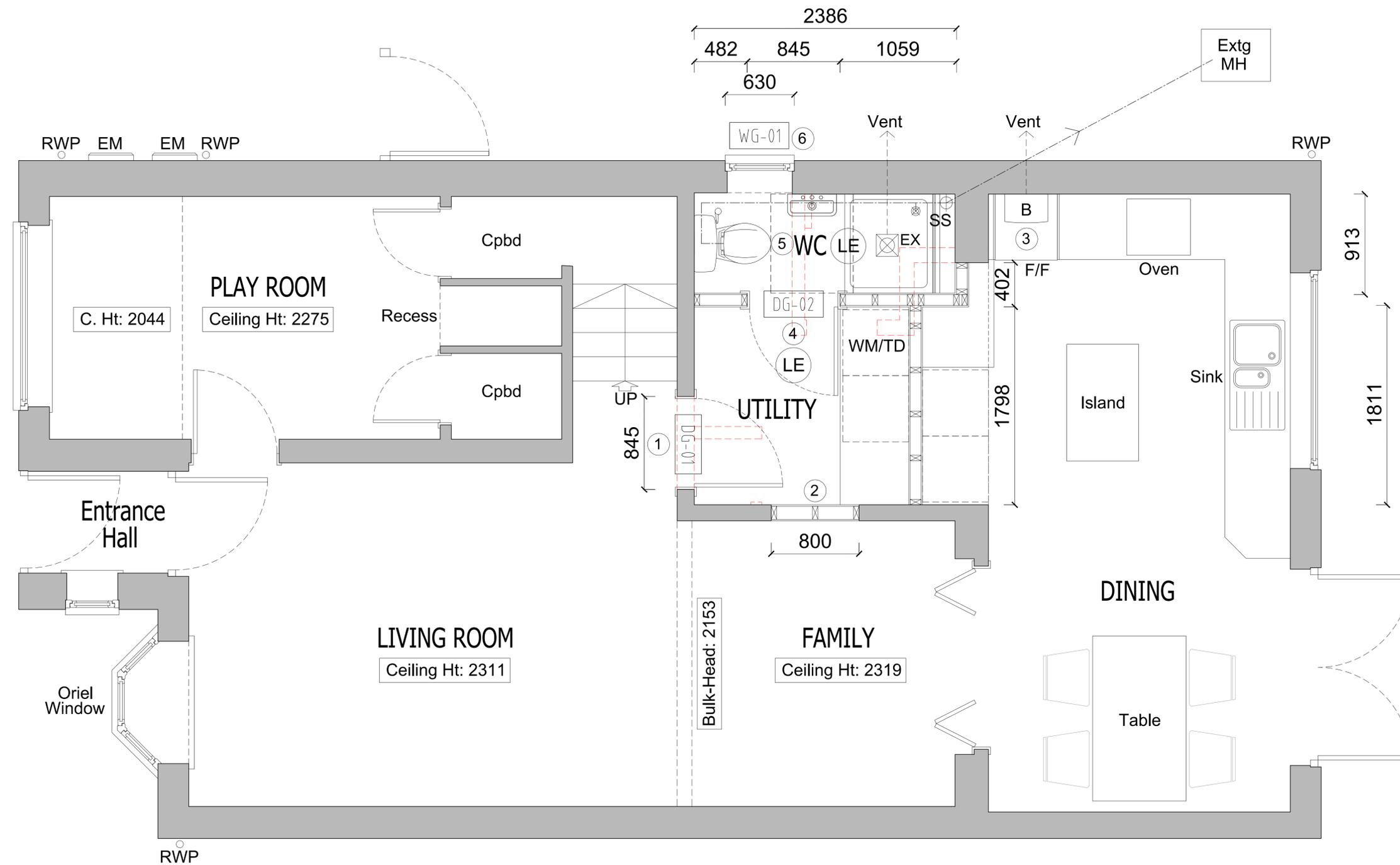
ELEMENT 6:
PROPOSED APERTURE - WINDOW: WG-01
 Existing external side access door to be removed inc. associated linings. Width of aperture, inc. lintel to be retained.
 Note 1: Allow for low-section of masonry cavity wall to be installed below the new window. External brick work leaf to be dog-toothed into existing.
 Note 2: Window to comprise of a side hung single opening casement to allow natural ventilation. Requirement for obscure glass TBC by the Client.
 Note 3: Existing lintel retained
 Note 4: Window aperture circa: 630mm (wide) x 1210mm (Ht)
 Note 4: Mechanical extract: ceiling mounted and to run within upper floor joist zone terminating via vent wall mounted to external side wall.

All dimensions are to be checked on site before work commences. Figured dimensions to be taken in preference to scaled dimensions. If in doubt please ask.
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DOOR SCHEDULE: Ref. 20, Waverley Way							
GROUND FLOOR LEVEL:							
Ref.	Room Serving	Structural Opening Width x Height	Door Leaf Width x Height	Lintel:	Fire Safety	Glass Spec	General Notes
DG-02	Living Rm - Utility Rm	845mm x 2040mm	762mm x 1981mm	No - Extg Timber Stud Wall	FD30	No	Internal grade door
DG-03	Utility Rm - Cloak Rm	845mm x 2040mm	762mm x 1981mm	No - Timber Stud Wall	-	No	Internal grade door

WINDOW SCHEDULE: Ref. 20, Waverley Way							
GROUND FLOOR LEVEL:							
Ref.	Room Serving	Structural Opening Width x Height	Window Type	Wall Type:	Fire Safety	Glass Spec	General Notes
WG-01	Cloak Rm/Shower Rm	930mm x 1210mm TBC	Opening Casement	Extg. Masonry Cavity	-	Obs (TBC)	Side opening single casement vent

Abbreviations: Ext. Door = External Grade Door / SBD = Secure By Design / SS = Smoke Seals / SC = Self Closer
 General Note 1: Please check final sizes of all Door and Windows proposed for 'Fit' and compatibility on site prior to ordering and site installation
 General Note 2: Target U-Value to be achieved: 1.2 W/m²K
 General Note 3: Inc. for Part Q provision to meet Secure By Design standards with regards to the doors and windows at ground floor level.



Rev	Description	Date	Initials
FOR PLANNING SUBMISSION			
HOLTHAM+NEWMAN ARCHITECTS			
The Old Dairy 282a Hyde End Road, Spencer's Wood, Reading, Berkshire, RG7 1DN T: 07971 316499 E: hello@hnarchitects.co.uk			
Project: 20, Waverley Way Finchampstead Reading RG40 4YD			
Client: Mr and Mrs. P. DaSilva			
Drawing Title: General Arrangement Floor Plans Inc. Door and Window Schedule - As Proposed			
Scale:	1:20 @A1	Dwg. No.:	2532-P101
Drawn by:	DH	Date:	Nov 2025
		Rev.:	-

GROUND FLOOR PLAN As Proposed
 OPTION: THREE
 Scale 1:20