

Sonning Court
Thames Street
Sonning-on-Thames
Berkshire
RG4 6UR

Preliminary Roost Assessment

Report ref.: R3096_PRA_a

<i>Report Quality Control Information</i>	
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1 EXECUTIVE SUMMARY

- 1.1.1 John Wenman Ecological Consultancy was instructed by Sabeeta Ahluwalia to undertake a Preliminary Roost Assessment (PRA) at the detached property Sonning Court, on Thames Street in Sonning-on-Thames, Berkshire. The PRA was commissioned to accompany a householder planning application to be submitted to Wokingham Borough Council seeking consent for alterations to the detached property.
- 1.1.1 The aim of the PRA is to ascertain if there is evidence of the presence of bats and/or potential for roosting bats to be present, and therefore whether further survey and/or mitigation would be required for the proposed development activities. A detailed inspection of the exterior and interior of the main house and pool house were undertaken on the 9th December 2025.
- 1.1.2 One possible medium-sized bat dropping, of a size and shape typical of those deposited by void-dwelling species such as long-eared bats (*Plecotus* spp.), was found within the roof void. The loft space was clear of any further evidence, cobwebbed in places and lacked visible access points. Therefore it is considered likely that this dropping was from an historic roost.
- 1.1.3 Externally, there were limited potential roost features observed which would provide conditions suitable for use by small crevice-dwelling bat species, such as the locally recorded *Pipistrellus* species, confined to lifted tiles around the chimney on the front elevation of the house. Considering the features noted, the main house is assessed to be of low potential suitability for bats. The pool house was assessed as having negligible potential suitability for bats.
- 1.1.4 The survey findings demonstrate that these proposals are highly unlikely to result in the death, injury or disturbance of bats; the damage or destruction of a bat roost; or the obstruction of access to a bat roost. Therefore, a European Protected Species (EPS) mitigation licence would not be required to allow the development proposals to proceed lawfully.
- 1.1.5 In the unlikely event that bats are encountered during construction, the works must stop immediately, and a suitably licensed ecologist should be called to site attend to the bat and provide advice on how to proceed; works should not continue until further written advice has been received. At this stage, an EPS mitigation licence may be required to permit the works to recommence lawfully.
- 1.1.6 This report contains information regarding a mobile species so it will likely be valid for 12 months only (CIEEM 2019).

2 INTRODUCTION

2.1 Project Background

- 2.1.1** John Wenman Ecological Consultancy was instructed by Sabeeta Ahluwalia to undertake a Preliminary Roost Assessment (PRA) at Sonning Court, on Thames Street in Sonning-on-Thames, Berkshire.
- 2.1.2** The PRA was commissioned to accompany a householder planning application to be submitted to Wokingham Borough Council seeking consent for single storey rear extensions following the demolition of the existing glass-roofed conservatory and single-storey rear extensions, and alterations to the roof including the construction of dormer windows on the rear and front elevation and installation of skylights on the front elevation of the roof, as well as alterations to the existing detached pool house (see existing and proposed plans in **Appendix 1 & 2**).

2.2 Site Location and Context

- 2.2.1** The site includes a detached residential dwelling, detached garage, annexe, pool house and several outbuildings on the western side of Thames Street, in Sonning-on-Thames, Berkshire (central OS grid reference: SU 75765 75766).
- 2.2.2** The detached house is in a leafy suburban area surrounded by residential houses and their respective gardens with connecting hedgerows and mature trees to the south and west, the River Thames flows along the north-western boundary and agricultural fields to the north and east. In the wider area there are parcels of deciduous woodland, the nearest area being approximately 200 metres to the east of the site. Caversham Lakes and Marina, are situated approximately 760 metres to the south-west of the property and are surrounded by woodland. Ali's Pond - a Local Nature Reserve (LNR) - is approximately 580 metres to the south-west and a large area of open grassland with scattered trees, including Sonning Golf Course, is situated approximately 1045 metres to the south-east of the property.
- 2.2.3** Overall, the nearby habitats provide suitable commuting and high quality foraging opportunities for bats adapted to roosting in suburban environments.

2.3 Report Objectives

- 2.3.1** The aim of the PRA is to ascertain if there is evidence of the presence of bats and/or potential for roosting bats to be present, and therefore whether further survey and/or mitigation would be required for the proposed development activities.

3 LEGISLATIVE AND POLICY BACKGROUND

3.1 Relevant Legislation

3.1.1 In England and Wales, all bat species found in the wild are fully protected under the Wildlife & Countryside Act 1981 (as amended) (WCA) and Conservation of Habitats and Species Regulations 2017 (as amended); the regulations are commonly referred to as the Habitat Regulations and hereafter referred to as such. The Habitat Regulations refer to European Protected Species (EPS) and all species of bats in the United Kingdom (UK) are EPS. Although the UK left the European Union on the 31st January 2020 and is therefore no longer tied to European legislation, the Habitat Regulations have been retained in their current format.

3.1.2 The legal framework underpinned by the WCA and Habitat Regulations makes these specific actions an offence as follows:

- Deliberately kill, injure, capture or take a wild bat;
- Deliberately, intentionally or recklessly disturb bats; in particular any disturbance which is likely to impair their ability to survive, to breed or reproduce, to rear or nurture their young, to hibernate or migrate, or to significantly affect local distribution or abundance;
- Damage or destroy a place used by a bat for breeding or resting; and
- Intentionally or recklessly obstruct access to any place used by a bat for shelter or protection.

3.2 Planning Policy

3.2.1 The biodiversity duty imposed through the Environment Act 2021 states that Local Planning Authorities (LPAs) must consider what action they can take to conserve and enhance biodiversity in England. Government planning policy, such as the ODPM Circular 06/2005, requires LPAs to account for the conservation of protected species when considering and determining planning applications.

3.2.2 The ODPM Circular 06/2005 states that *'the presence of a protected species is a material consideration when a planning authority is considering a development proposal that, if carried out, would be likely to result in harm to the species or its habitat.'* This policy means that in instances where there is a reasonable likelihood of bats being present and affected by a development, surveys must be undertaken to inform a mitigation strategy to be agreed prior to granting planning permission.

3.3 Mitigation Licensing

3.3.1 The government's statutory nature conservation body, Natural England, is responsible for issuing European Protected Species (EPS) mitigation licences that would permit activities that would otherwise lead to an infringement of the Habitat Regulations. An EPS mitigation licence can be issued if the following three tests derived from Regulation 55 have been satisfied:

- (2)(e) – the derogation is for the purposes of '*preserving public health or public safety or other imperative reasons of overriding public interest, including those of a social or economic nature and beneficial consequences of primary importance for the environment.*'
- (9)(a) – there is '*no satisfactory alternative*' to the derogation; and
- (9)(b) – '*the action authorised will not be detrimental to the maintenance of the population of the species concerned at a favourable conservation status in their natural range.*'

3.3.2 LPAs have a statutory duty under Regulation 7(3)(e) of the Habitat Regulations to consider and determine whether these three tests are likely to be satisfied by planning proposals affecting EPS before granting planning permission. If an EPS mitigation licence is necessary, a licence can be sought once all the necessary planning consents have been granted. Natural England aims to issue a decision on licence applications within 30 working days of submission.

3.3.3 The Bat Mitigation Class Licence (BMCL) scheme allows ecologists to apply to become Registered Consultants to use this licence for low conservation status roosts, i.e. roosts comprising small numbers of seven commonly occurring species. A site registration form must be completed as a condition of the licence and submitted to Natural England at least three weeks before the licensable activities are due to start; Natural England aims to register sites within two weeks of submission.

3.3.4 Baseline survey information supporting EPS mitigation licence applications or BMCL site registrations must be up-to-date and have been completed within the current or most recent optimal season. A suitably experienced ecologist will be required to undertake a site walkover/check within three months prior to application/registration submission to confirm that conditions have not changed since the most recent survey.

4 SURVEY METHODOLOGY

4.1 Desk Study

4.1.1 A desk-based study for bats was undertaken to collate and review existing information about the site and the surrounding land. The study utilised the following open access resources:

- Google Earth – satellite imagery was used to identify potential flight paths and foraging habitats for bats;
- MAGIC – examined to locate granted European Protected Species licences; and
- Pre-existing bat survey reports – any available reports were obtained from the client or relevant planning portal to provide background information for the site.

4.2 Building Inspection

Survey Details

4.2.1 A detailed inspection of the exterior and interior of the property was undertaken on the 9th December 2025 by Meghan Porter-Smith registered under Natural England Bat Survey Class Licence CL17 (Registration no.: 2025-86253-CL17-BAT), and assistant ecologist Lauren Hayward, in accordance with good practice guidelines (Collins 2023). The equipment used during the inspection comprised binoculars, a high-power (1 million candlepower) LED torch, a headtorch, and a ladder. The inspection involved a systematic search of the exterior and interior of the structure during daylight hours to compile information on potential and actual bat access points; potential and actual bat roost sites; and any evidence of bat presence.

External Survey

4.2.2 Frequently used bat access points and/or roost sites include (but are not limited to) spaces:

- behind hanging tiles, weatherboarding, soffit boxes and barge boards;
- under lead flashing (particularly around chimneys) and roof tiles/slates; and
- in existing bat boxes.

4.2.3 It is important to note that the two most abundant and widespread bat species, common pipistrelle (*Pipistrellus pipistrellus*) and soprano pipistrelle (*Pipistrellus pygmaeus*), typically only require gaps measuring 15mm by 20mm to gain access to a roost inside a building.

4.2.4 The external survey involved a systematic search for evidence of bats including:

- live or dead specimens;
- droppings;
- urine marks;
- fur-oil staining; and
- squeaking noises.

4.2.5 It should be noted that bats can be present in a building while leaving no visible signs externally and wet weather has the potential to wash any evidence away. The search for evidence was focused on (but was not limited to) the ground, windowsills, windowpanes and walls (including cladding and hanging tiles); particularly in places near to potential bat access points and/or roost sites.

Survey Limitations and Validity

4.2.6 There were no significant survey limitations because PRAs can be carried out at any time of year under any weather conditions and the building was fully accessible.

4.2.7 It should be noted that it is not always possible to inspect all potential roost sites during a survey, particularly for bat species which typically roost in hidden crevices. Therefore, an absence of bat evidence found during a survey does not necessarily equate to evidence of bat absence in a building.

4.2.8 This report contains information regarding a mobile species so it will likely be valid for 12 months only (CIEEM 2019).

5 SURVEY RESULTS

5.1 Desk Study

5.1.1 The connecting private gardens, scattered trees and the adjacent River Thames provides continuous habitat that could be used as bat flight paths and feeding habitat and is connected to additional high-quality foraging habitats in the nearby area including the marina and open grassland for any bats roosting locally.

5.1.2 The following table lists the bat mitigation licences issued within the last 10 years within a 2km radius of the property.

Table 1. Bat mitigation licences granted within a 2km radius of the property (Source: MAGIC).

Case Reference of Granted Licence	Species on the Licence	Licensable Period	Licensable Works	Distance (m)
2018-37707-EPS-MIT	Soprano Pipistrelle	13/11/2018 to 30/11/2023	Damage to resting place	~ 775 SE
2019-44293-EPS-MIT	Common Pipistrelle Soprano Pipistrelle Brown long-eared	31/01/2020 to 30/06/2020	Damage to resting place	~ 1076 SE
2020-48093-EPS-MIT	Common Pipistrelle Soprano Pipistrelle Brown long-eared	23/07/2020 to 28/02/2026	Destruction of a resting place	~ 1160 SE
2018-34839-EPS-MIT-1	Soprano Pipistrelle	24/04/2019 to 31/07/2023	Destruction of a resting place	~ 1288 SW
2020-48694-EPS-MIT	Common Pipistrelle Soprano Pipistrelle	23/09/2020 to 31/12/2025	Damage and destruction of a resting place	~1316 SW
2018-38132-EPS-MIT	Soprano Pipistrelle Brown long-eared	19/11/2018 to 30/10/2020	Destruction of a resting place	~ 1334 SE
2015-17476-EPS-MIT-2	Soprano Pipistrelle	30/11/2016 to 30/11/2016	Destruction of a resting place	~ 1432 SW
2020-48353-EPS-MIT	Soprano Pipistrelle	25/08/2020 to 28/02/2026	Destruction of a resting place	~ 1575 SW
2018-36568-EPS-MIT	Brown long-eared Common Pipistrelle	04/08/2018 to 31/01/2019	Damage to resting place	~ 1622 SE
2019-43241-EPS-MIT	Common Pipistrelle Soprano Pipistrelle Brown long-eared	20/11/2019 to 30/04/2025	Destruction of a resting place	~ 1834 E

5.1.3 There were no pre-existing bat survey reports held by the client or available for the property on the Wokingham Borough Council website.

5.2 Building Inspection

Overview

- 5.2.1 The findings from the external inspection carried out for the property are described with photographs and are annotated in a plan, as follows:

Main House - External Survey

- 5.2.2 The property is a detached house of brick and render construction, with a complex hipped roof and front pitched gable. There was a glass-roofed conservatory and glass flat-roofed extensions on the rear and western elevations (**Photographs 1 - 4**).



Photograph 1. Front of the property viewed from the south.



Photograph 2. Front of the property viewed from the south.



Photograph 3. Rear of the property, viewed from the north.



Photograph 4. Flat-roofed glass side extension, viewed from the west.

- 5.2.3 The main roof was covered with overlapping plain tiles that were mostly intact across all elevations, with the exception of occasional broken roof tiles on the eastern elevation of the front gable (**Photographs 5 & 6**). However, the tiles remained in place thus did not create a suitable roosting feature for bats. There were a few lifted and slipped tiles beside the chimney on the front elevation of the property, offering potential roosting features for crevice-dwelling bats such as pipistrelle species (*Pipistrellus* spp.) (**Photograph 7; Target note 1**). There was a slight gap below a lifted roof tile beside

the chimney at the eastern end of the roof, but it was deemed to be of limited extent (**Photograph 8**).



Photograph 5. Tight plain roof tiles and broken roof tile (front elevation).



Photograph 6. Broken verge tile (front elevation).



Photograph 7. Lifted and slipped roof tiles beside chimney (front elevation).



Photograph 8. Gap of limited extent below lifted roof tile at base of chimney (eastern elevation).

- 5.2.4** The ridge and hip mortar was intact across all elevations of the house (**Photograph 9**). The lead flashing around all chimneys and connecting the conservatory to the main house, was flush to the plain roof tiles and brickwork (**Photograph 10**).



Photograph 9. Intact ridge and hip mortar (western elevation).



Photograph 10. Lead flashing flush to plain roof tiles (front elevation).

- 5.2.5** The verge mortar on the gable end located on the front elevation of the house was intact with no visible gaps (**Photograph 11**). The timber soffits and bargeboards were

intact and tight to the brickwork on all elevations of the house (**Photograph 12**).



Photograph 11. Intact verge mortar across gable end (front elevation).



Photograph 12. Intact timber soffits and bargeboards tight to the brickwork (front elevation).

- 5.2.6** The existing single-storey rear and side extensions and rear conservatory were of glass construction that was tightly fitted to the metal frames, with no visible bat roosting features.

Main House - Internal Survey

- 5.2.7** The property had one continuous roof void that covered the second storey footprint of the house and that was accessible via two loft hatches on the first floor. The void had a floor-to-ridge height of approximately 4 metres at the highest point and was of 'cut and pitch' rafter construction at the eastern end and pre-trussed rafter construction at the western end (**Photograph 13**). The majority of the roof was lined with bitumen felting that was mostly intact, but with occasional small tears (**Photographs 14 & 15; Target note 2**). The roof void at the western side of the house was of newer construction and was lined with intact breathable membrane (**Photograph 16**).



Photograph 13. Roof void (eastern elevation).



Photograph 14. Eastern side of roof void lined with bitumen felting (roof void).



Photograph 15. Small gaps between timber rafters and bitumen felting at the ridge of the hipped roof (roof void).



Photograph 16. Western side of roof void lined with breathable membrane (roof void).

5.2.8 The floor was centrally boarded with thick fibreglass insulation between the joists (**Photograph 17**). The eaves were blocked by fibreglass along the eastern side of the loft void and open into the soffits along the western side (**Photographs 18 & 19; Target note 3**). There was a small amount of expanding foam filling a section of the eaves on the eastern side of the loft void (**Photograph 20**).



Photograph 17. Thick fibreglass insulation between joists (roof void).



Photograph 18. Eaves blocked by fibreglass insulation along eastern side (roof void).



Photograph 19. Eaves open into soffits along western side (roof void).



Photograph 20. Small section of expanding foam in eaves on eastern side (roof void).

5.2.9 The pitched gable end on the front elevation of the house was lined with bitumen roofing felt that was tight to the rafters, with polystyrene insulation present on top

(**Photograph 21**). There was a small circular window in the wall and a large accumulation of cluster flies around the window and on the fibreglass below (**Photograph 22**). There was a large raised platform in the centre of the gable where a water tank had likely been previously removed and one likely medium-sized bat dropping, typical of those deposited by void-dwelling bats such as long-eared species (**Photographs 23 & 24**). Due to a lack of visible entrance points and a lack of any further evidence within the void, this dropping is assumed to be from an historic roost.



Photograph 21. Front gable end with circular window, lined with polystyrene and bitumen felt (roof void).



Photograph 22. Accumulation of cluster flies at gable end wall (roof void).



Photograph 23. Raised platform in front of pitched gable (roof void).



Photograph 24. Possible medium-sized bat dropping (loft void).

5.2.10 Towards the eastern side of the roof void, there was a heavily cobwebbed brickwork and render chimney with lead flashing around the base and a small gap between the bitumen felting and rendered brickwork, exposing the external plain roof tiles (**Photograph 25; Target note 4**). A second chimney was visible at the eaves on the rear elevation of the void, which was cobwebbed and tight to the rafters. This gap was heavily cobwebbed with no daylight visible. A second chimney was partly visible at the eaves on the rear elevation, which was cobwebbed and tight to the rafters (**Photograph 26**). The enclosed skylights were both tight to the breathable membrane felting and timber rafters (**Photograph 27**).



Photograph 25. Cobwebbed gap between the roof felt and chimney at the eastern end (roof void).



Photograph 26. Heavily cobwebbed gap between bitumen felting and enclosed skylight (roof void).



Photograph 27. Roof membrane and timbers tight to light box surrounding a skylight on the western side (roof void).

Pool House

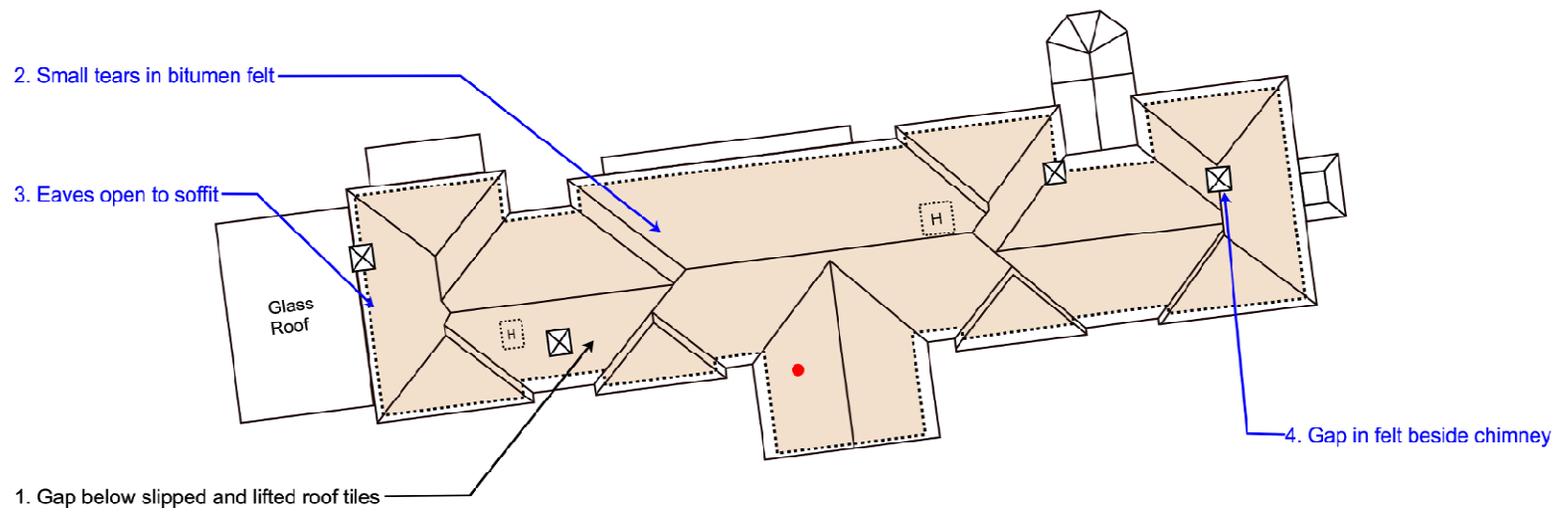
5.2.11 The detached pool house was a single-storey building, which featured a sloping hipped roof covered in bitumen felt (**Photograph 30**). The soffit was tight to the rendered wall on all elevations of the building (**Photograph 31**). There was no internal roof void to survey within the building.



Photograph 30. Detached pool house (northern elevation).



Photograph 31. Soffit tight to the rendered walls (eastern elevation).



- Medium-sized bat dropping
- n. External target note
- n. Internal target note
- ⊠ Chimney
- ⋯ Roof void
- H Loft hatch

Drawn by:	Date	Scale:	Sonning Court, Thames Street Sonning	
LH	December 2025	Not to scale	Figure 1 - Preliminary Bat Roost Assessment Findings	

Figure 1. Plan of the Preliminary Roost Assessment findings.

6 DISCUSSION

6.1 Assessment of Roost Suitability / Presence

6.1.1 The property is in a suburban setting surrounded by large gardens, scattered trees and the River Thames adjacent to the site which provide high-quality flight paths and foraging opportunities for bats roosting locally. Furthermore, ten bat mitigation licences issued within a 2km radius reveals bat roosts for at least three species in the near vicinity: common pipistrelle (*Pipistrellus pipistrellus*), soprano pipistrelle (*Pipistrellus pygmaeus*) and brown long eared (*Plecotus auritus*).

6.1.2 Externally, the occasional gaps beneath slipped and lifted plain roof tiles beside the chimney on the front elevation were the only potential crevice roosting features observed during the inspection, that were suitable for species such as common pipistrelle and soprano pipistrelle that have been recorded locally.

6.1.3 During the internal inspection, one medium-sized bat dropping, typical of those deposited by void-dwelling species, such as the locally recorded brown long-eared bat (*Plecotus auritus*), was found beneath the front gable. The loft space was of a size that was suitable for internal flight and the ridge was only lightly cobwebbed throughout; however there was a lack of evidence found within the rest of the void and the void lacked visible access points, therefore this dropping has been classified as being from a likely historic roost.

6.1.4 Overall, the evidence shows that the house is considered to have low potential suitability for roosting bats (see **Appendix 3** for Roost Suitability).

6.2 Impact Assessment and Recommendations

6.2.1 The development proposals seek consent for two single storey rear extensions following the demolition of the existing glass-roofed conservatory, and the construction of dormer windows on the front and rear elevations (see planning drawings in **Appendix 1 & 2**).

6.2.2 The identified potential roost features below slipped and lifted roof tiles on the front elevation will be unaffected by the proposals and retained long-term. The survey findings demonstrate that these proposals are highly unlikely to result in the death, injury or disturbance of bats; the damage or destruction of a bat roost; or the obstruction of access to a bat roost. Therefore, a European Protected Species (EPS) mitigation licence would not be required to allow the development proposals to proceed lawfully.

6.2.3 In the unlikely event that bats are encountered during construction, the works must stop immediately, and a suitably licensed ecologist should be called to site attend to the bat and provide advice on how to proceed; works should not continue until further written advice has been received. At this stage, an EPS mitigation licence may be required to permit the works to recommence lawfully.

7 REFERENCES

CIEEM (2019). *Advice Note on the Lifespan of Ecological Reports and Surveys*. CIEEM, Winchester.

Collins, J. (ed.) (2023). *Bat Surveys for Professional Ecologists: Good Practice Guidelines (4th edition)*. The Bat Conservation Trust, London.

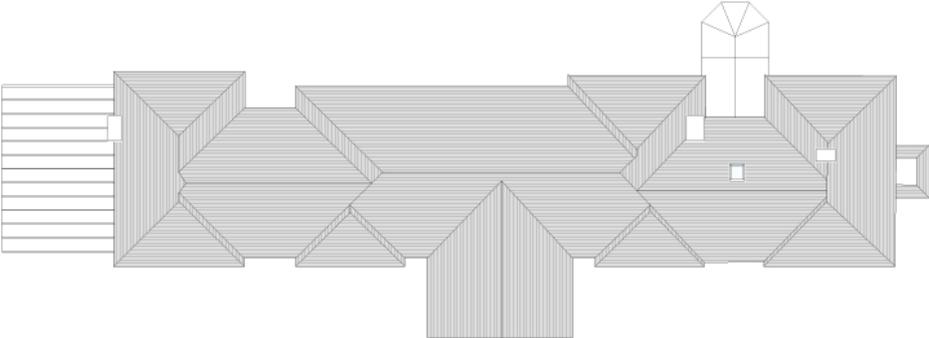
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APPENDIX 1 – EXISTING ROOF PLAN

Note
 Use figured dimensions only. All dimensions are to be finished as indicated unless otherwise stated. All dimensions are to be measured to the centre of the wall unless otherwise stated. All dimensions are to be measured to the centre of the wall unless otherwise stated.



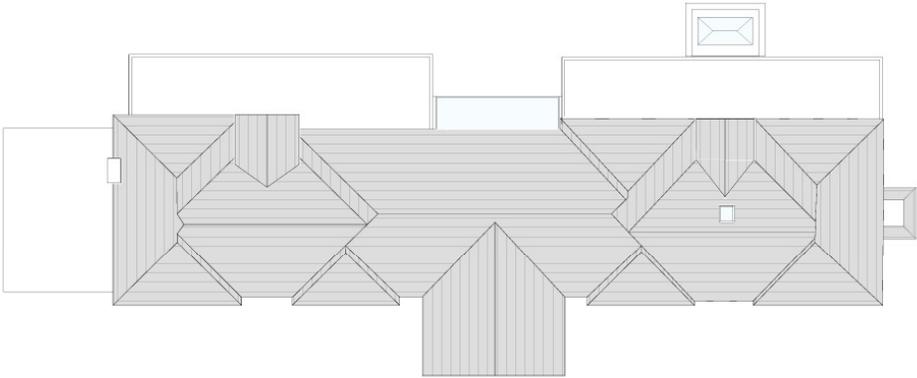
EXISTING ROOF PLAN

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ALL DIMENSIONS APPROXIMATE					
SCHEME DESIGN SUBJECT TO STRUCTURAL, ENGINEER, SERVICES ENGINEER, & PLANNERS COMMENT					
Planning					
 BB PARTNERSHIP CHARTERED ARCHITECTS					
Studio 20-24, 10 Hammersley St, London, N7 8EL. Tel: 020 7318 8888 Fax: 020 7318 8889 Email: enquiries@bbpartnership.co.uk					
Client: Bobby Alford Ltd					
Project: Sonning Court Sonning Court Sonning-Thames, Berkshire RG4 5LR					
Discipline: Application 1 Existing Roof Plan					
Date:	Scale:	Drawn by:		Checked by:	
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APPENDIX 2 – PROPOSED ROOF PLAN (PLANNING APPLICATION 1 AND 2)



PROPOSED ROOF PLAN

Note
 Use figured dimensions only. All dimensions are to be checked on site and any discrepancies, errors or omissions are to be reported to the architect prior to commencement of works.

DRAWING KEY

- EXISTING STRUCTURE RETAINED
- PROPOSED STRUCTURE
- PROPOSED EXTENSIONS

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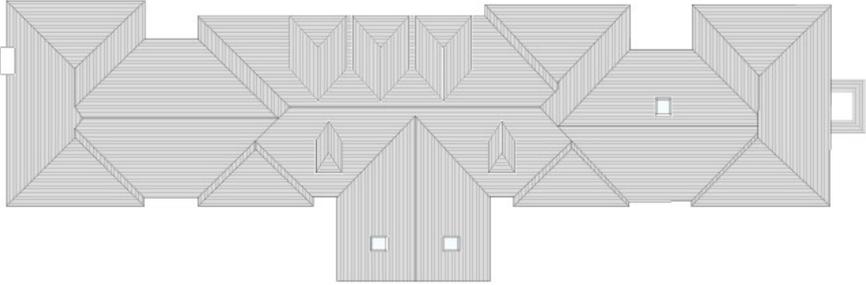


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Client: Bobby Ahluwalia		
Project: Sonning Court Sonning Court, Thames, Berkshire RG4 6UR		
Drawing: Application 1 Proposed Roof Plan		
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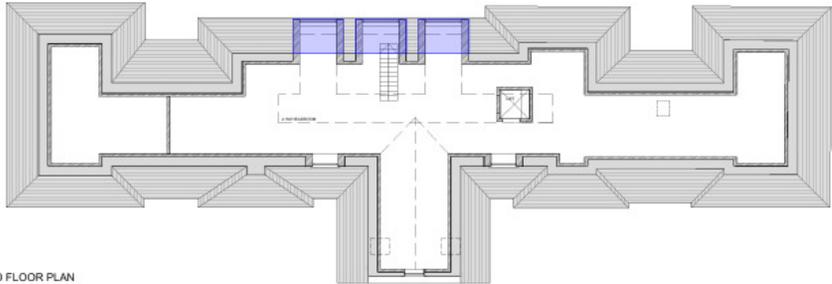
Note
 Use figured dimensions
 ALL DIMENSIONS ARE TO BE CHECKED ON SITE AND ANY
 DISCREPANCIES, WHICH OR CORRECTIONS ARE TO BE REPORTED TO
 THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.

DRAWING KEY

- EXISTING STRUCTURE RETAINED
- PROPOSED STRUCTURE
- PROPOSED EXTENSION



PROPOSED ROOF PLAN



PROPOSED SECOND FLOOR PLAN

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Rev	Notes	Date	By

ALL DIMENSIONS APPROXIMATE

SCHEME DESIGN SUBJECT TO
 STRUCTURAL ENGINEER (SERVICES ENGINEER
 & PLANNERS COMMENT)

Planning

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 CHARTERED ARCHITECTS

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Client:
 Bobby Ahirwala

Project:
 Sonning Court
 Spring-on-Trause, Berkshire
 Roof (R&B)

Drawing:
 Application 2
 Proposed Second Floor and Roof Plan

Date	Scale	Drawn by
SEP15	1:100 (A4)	ML
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 CHECK ALL DIMENSIONS ON SITE

APPENDIX 3 – POTENTIAL SUITABILITY CATEGORIES FOR ROOSTING BATS

The categories detailed in **Table 2** below are derived from the ‘*Bat Surveys for Professional Ecologists: Good Practice Guidelines (4th edition)*’ (Collins 2023) and provide guidance for assessing the potential suitability of buildings (and other structures) for roosting bats. These categories are applied using professional judgement and irrespective of whether the presence of a bat roost has been confirmed during a survey, as additional bat roosts could be present which have not yet been discovered.

Table 2. Categories for potential suitability of buildings (and other structures) for roosting bats.

Potential Suitability	Category Justification
None	A building (or structure) that has no features likely to be used by any roosting bats at any time of the year (i.e. a complete absence of cracks, crevices or voids that could provide suitable shelter).
Negligible	A building (or structure) that has no obvious features likely to be used by roosting bats, but in this case a small element of uncertainty remains as bats will occasionally use small and apparently unsuitable features. This category may also be used where a bat could potentially roost due to one attribute, but it is considered unlikely due to another attribute (e.g. a feature that is subject to constant illumination from artificial lighting).
Low	A building (or structure) that has one or more potential roost sites suitable for opportunistic use by individual bats at any time of the year. However, these potential roost sites for bats do not provide sufficient space, shelter, protection, conditions and/or surrounding suitable habitat to be used regularly or by large numbers (i.e. unlikely to be suitable for a maternity colony and not a classic hibernation site).
Moderate	A building (or structure) that has one or more potential roost sites suitable for regular use by individual bats, or small non-breeding groups, due to sufficient space, shelter, protection, conditions and surrounding habitat. However, these potential roost sites for bats are unlikely to support a roost of high conservation status with regards to the type of roost only (i.e. maternity colonies and classic hibernation sites).
High	A building (or structure) that has one or more potential roost sites suitable for use by large numbers of bats more regularly and for longer periods of time due to sufficient space, shelter, protection, conditions and surrounding habitat. These potential roost sites for bats are capable of supporting high conservation status roosts (i.e. maternity colonies and classic hibernation sites).