

**Proposals to add a side vertical extension over the garage of the existing building at
“Arlington”, Basingstoke Road, Three Mile Cross Reading
Heritage Statement
REVISION - 12 December 2025**

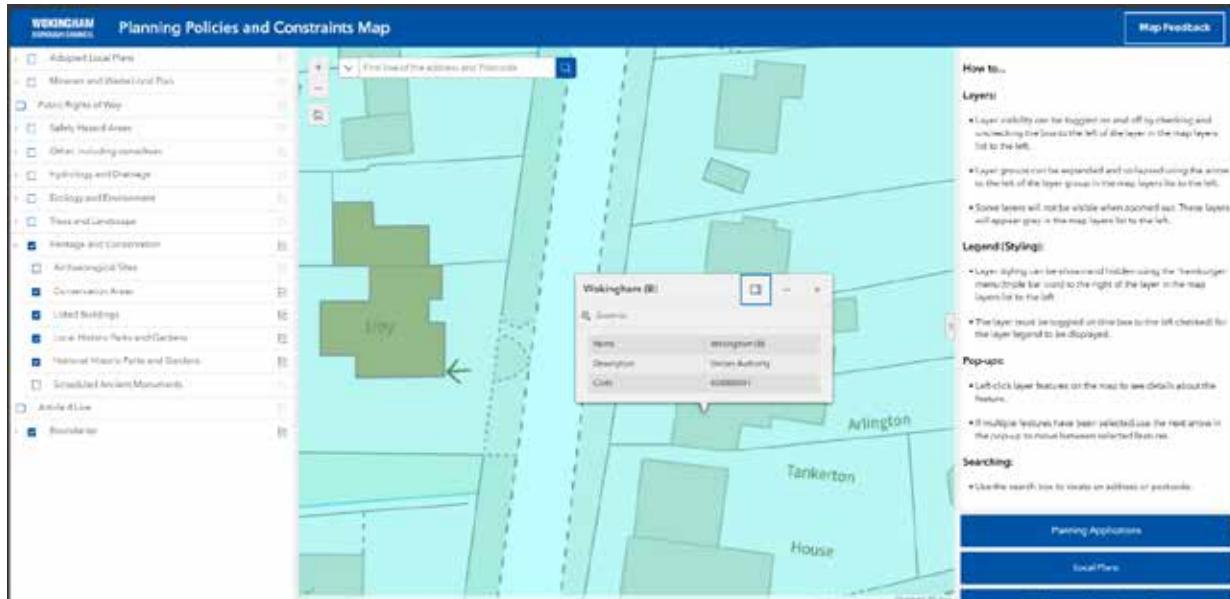
The previous application approved via reference sought to add a vertical extension to the side of the house and over the existing garage to create useable habitable accommodation.

This new application is requesting for front and rear dormers to be included as part of these proposals, and also to square off the single storey rear part of the building with a part side and part rear extension to that element

The application property is not listed, and the area on which the property lies is not within a designated conservation area.

Wokingham Council's constraints map does not identify that any additional information is required when applying for extensions or alterations to the property.

It should be noted that the applicants have recently gained a formal Certificate of Lawfulness for the conversion of the loft space and the addition of roof dormers and roof windows under reference 242472 dated 8/10/2024.



Screen shot of the councils constraints map showing no additional requirements.

The library opposite the site is however a Grade II Listed Building and has the following details:

Official list entry

Heritage Category: **Listed Building**

Grade: **II**

List Entry Number: **1312952**

Date first listed: **01-Aug-1952**

List Entry Name: **LIBRARY THE SCHOOL HOUSE**

Statutory Address 1: **LIBRARY, BASINGSTOKE ROAD**

Statutory Address 2: **THE SCHOOL HOUSE, BASINGSTOKE ROAD**

The scope of legal protection for listed buildings

This List entry helps identify the building designated at this address for its special architectural or historic interest.

Unless the List entry states otherwise, it includes both the structure itself and any object or structure fixed to it (whether inside or outside) as well as any object or structure within the curtilage of the building.

Location

Statutory Address: **LIBRARY, BASINGSTOKE ROAD**

Statutory Address: **THE SCHOOL HOUSE, BASINGSTOKE ROAD**

The building or site itself may lie within the boundary of more than one authority.

District: **Wokingham (Unitary Authority)**

Parish: **Shinfield**

National Grid Reference: **SU 71476 66684**

Details

SHINFIELD BASINGSTOKE ROAD (west side) SU 76 NW Spencers Wood

8/24 Library and The School House

1.8.52 II

School and School house, now library and house. 1890. Grey brick with orange brick headers and band patterning, quoins and window dressings. Tiled gabled roof. Rectangular plan with 2 gables of different sizes facing road and one cross gable on right. One and a half storeys and one storey. Chimney on ridge on right of centre with moulded brick dentil head and clay pot. Rubbed brick semi-circular heads to windows, moulded brick string at upper cill level on 2 right hand gables, carved bargeboards with long dropped finials and carved bosses. 2, 3 and 4-light small pane casement windows; planked entrance door with semi-circular head in moulded brick recessed opening leading to closed porch as part of projecting gable to right of centre. An inscription above the door reads, F.W.A. 1890 on two panels with a third terracotta panel between with a swans head flanked by 2 feathers.

Listing NGR: **SU714766684**

Legacy The contents of this record have been generated from a legacy data system.

Legacy System number: **41441**

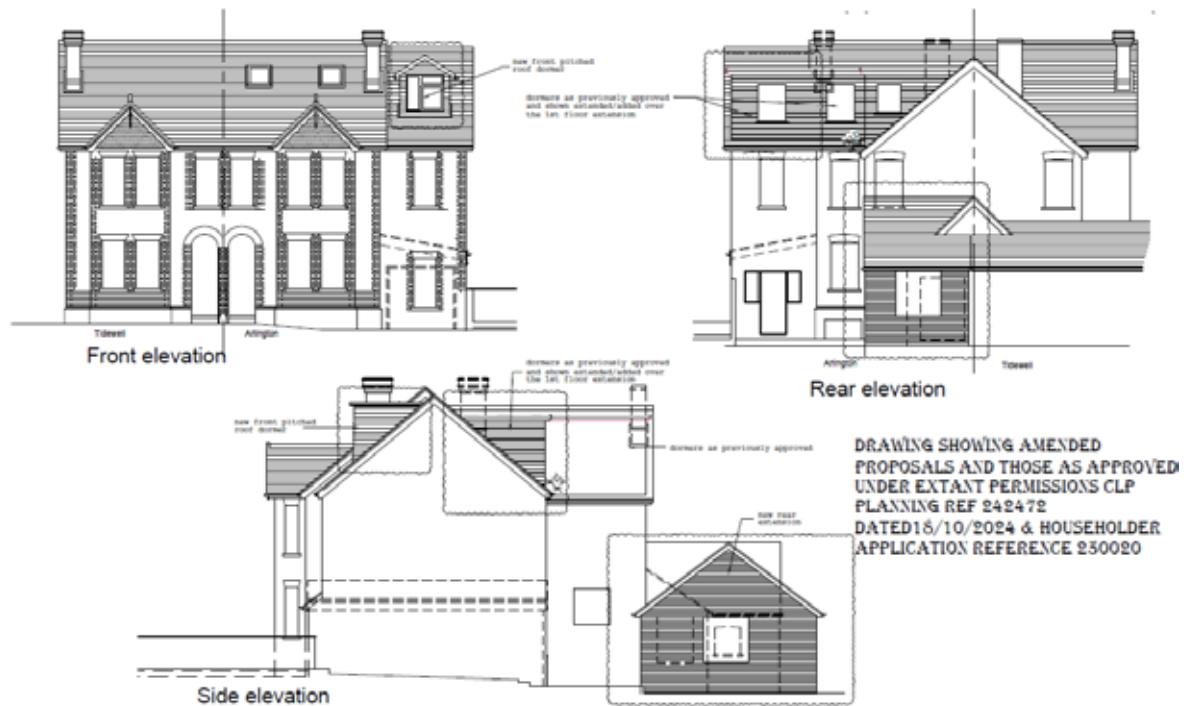
Legacy System: **LBS**

The application site and proposals

The applicants have proposed to extend over the garage, where the garage itself seems to be a later addition to the existing property, as the brickwork is quite different to that of the existing main house.



Photo of existing semi and side garage



The proposed elevation takes key elements from the existing building with feature brickwork and quoins with window styles onto the new extension and follows policy to ensure that the new side element is presented as a lesser feature to the host dwelling, set back from the front and set down from the ridge. The front dormer is a small scale pitched roof configuration that mimics the adjacent buildings in terms of design and scale.

The rear dormer addition continues the previous arrangement across to the extended side

It is considered that the proposals to this property have been sensitively thought out and the end result is seen to enhance the natural flow of the street elevation with the garage element and its lean-to roof replaced with a more vertical presence to the street.

Furthermore, the dormers located at the rear of the building would not impact the view from the main road or the Library building, and therefore have no impact to its setting.