

Existing Materials:
 Brickwork / walls - Red brick, red vertically hung tiles clad gable dormer, horizontal timber clad gable dormer
 Pitched roof - Concrete tiles
 Windows - White uPVC framed windows
 Doors - Timber framed doors and uPVC framed door
 RWP / Gutter / fascia - Black uPVC gutters and downspouts, white uPVC fascia boards

KEY

- Existing walls
- Existing furniture
- Boundary line
- Level line
- 1.5m head height
- 1.8m head height



Revision	Notes	Date
A	Planning Issue	05/02/2025

RESI
 Grow your home

Proposed loft conversion with rear dormer, internal alterations and all associated works at 12 Farmers End, Charlbury, Reading, RG10 9RZ

Drawing Status
 Planning Drawings

Client
 Tolu Adebekun

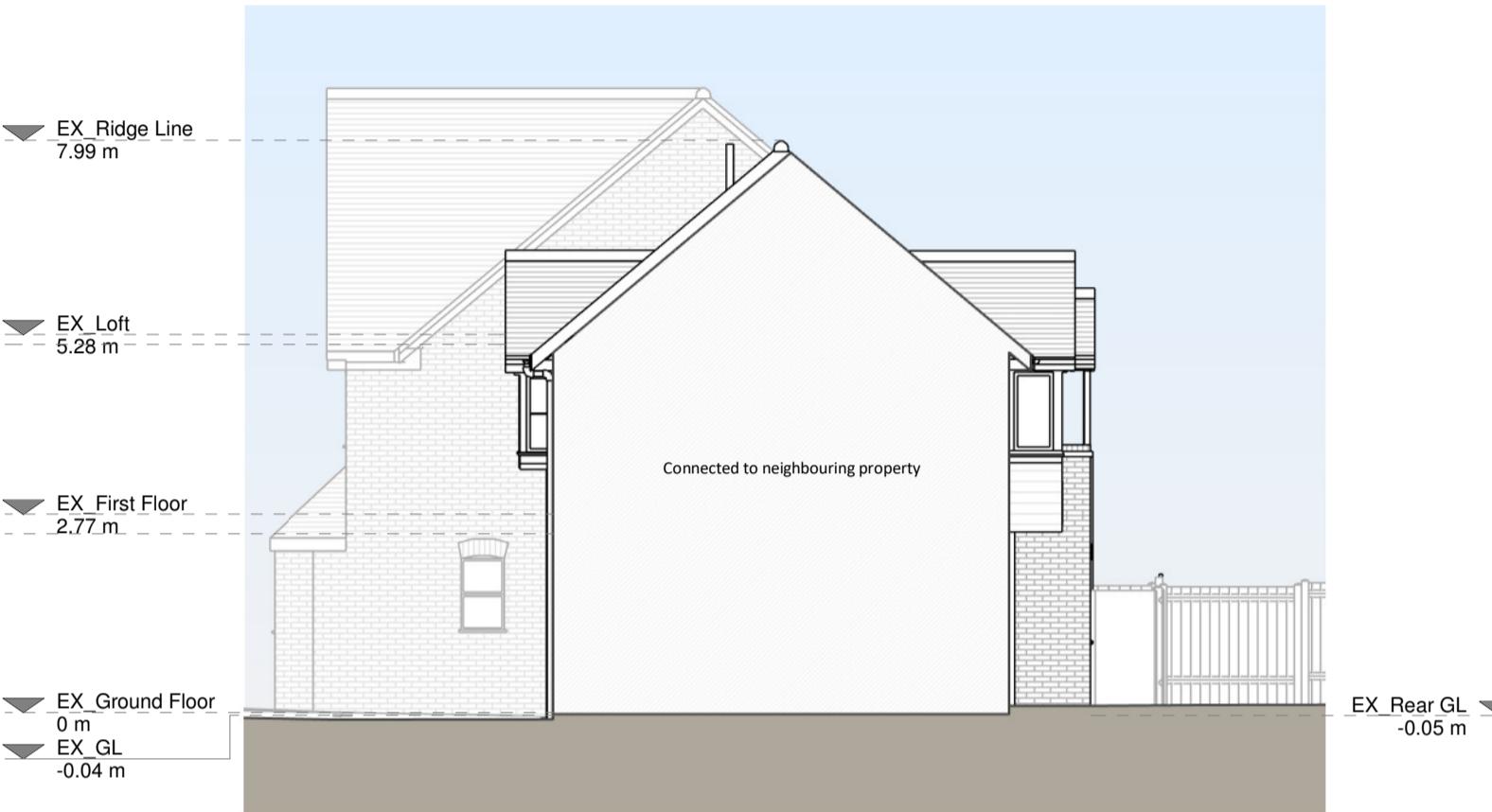
Drawing Title
 Existing Floor Plans and Roof Plan

Scale 1:100 @ A1
 Drawn AR
 Dated Feb 2025
 Drawing No. B278374-1100
 Rev A

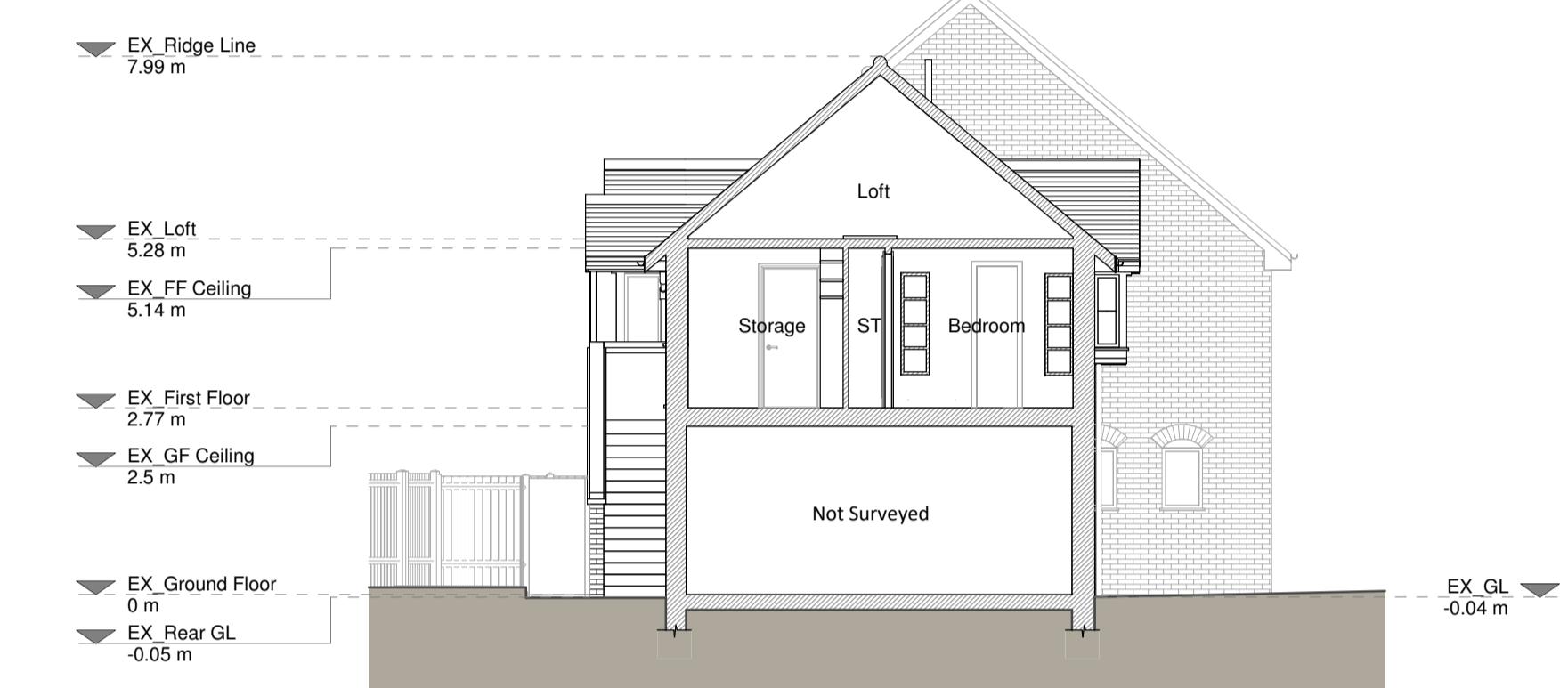
1 0 1 2 3 4 5
 SCALE 1:100
 m



Front Elevation



Right Side Elevation



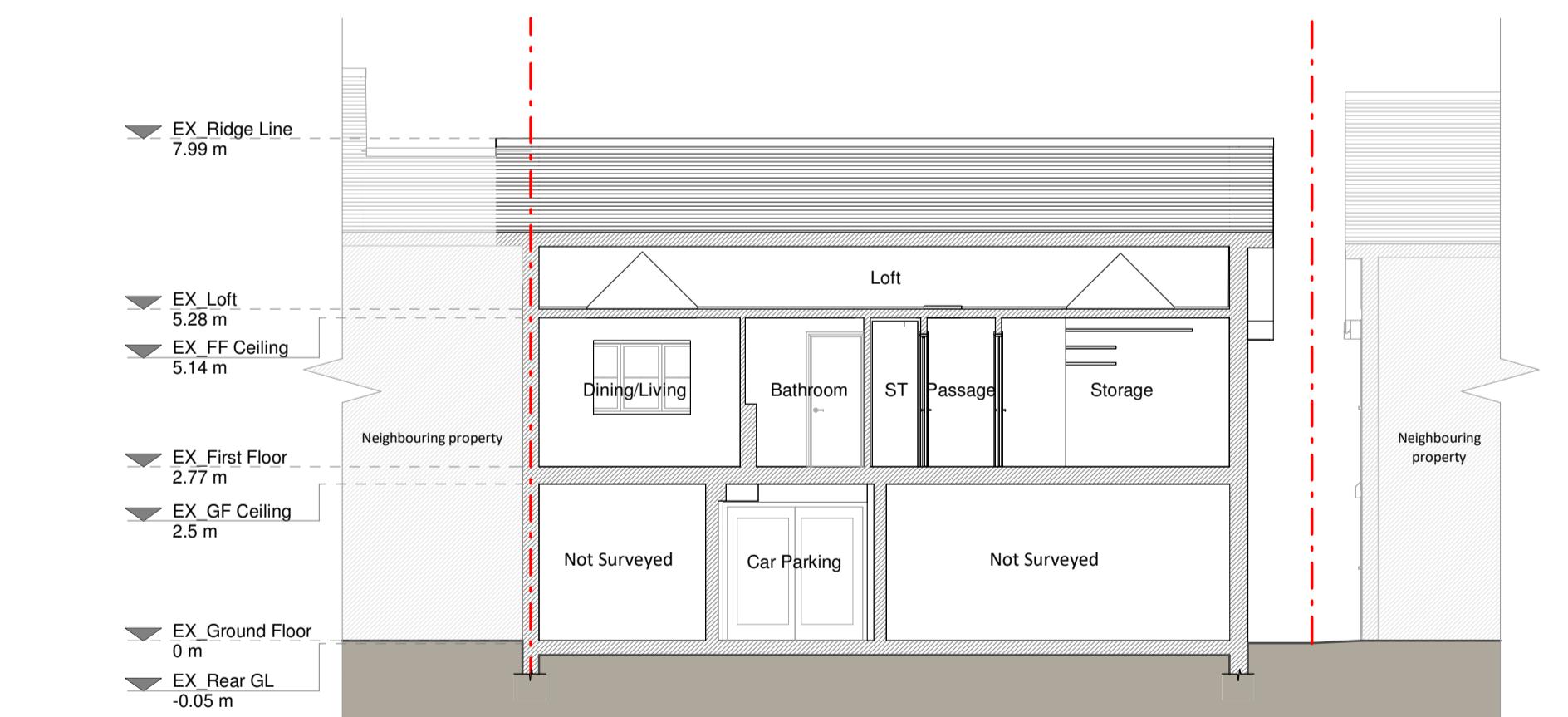
Section A - A



Rear Elevation



Left Side Elevation



Section B - B

Existing Materials:
Brickwork / walls - Red brick, red vertically hung tiles clad gable dormer, horizontal timber clad gable dormer.
Pitched roof - Concrete tiles
Windows - White upVC framed windows
Doors - Timber framed doors and upVC framed door.
Roof / Gutter / fascia - Black upVC gutters and downpipes, white upVC fascia boards

KEY

- Existing walls
- Existing furniture
- Boundary line
- Level line
- 1.5m head height
- 1.8m head height

Revision

Rev	Notes	Date
A	Planning Issue	05/02/2025

RESI
Grow your home

Job Title
Proposed loft conversion with rear dormer, internal alterations and all associated works at 12 Farmgate End, Charlbury, Reading, RG10 9RZ

Drawing Status

Planning Drawings

Client

Tolu Adebekun

Drawing Title

Existing Elevations and Section

Scale 1:100 @ A1

Drawn AR

Checked

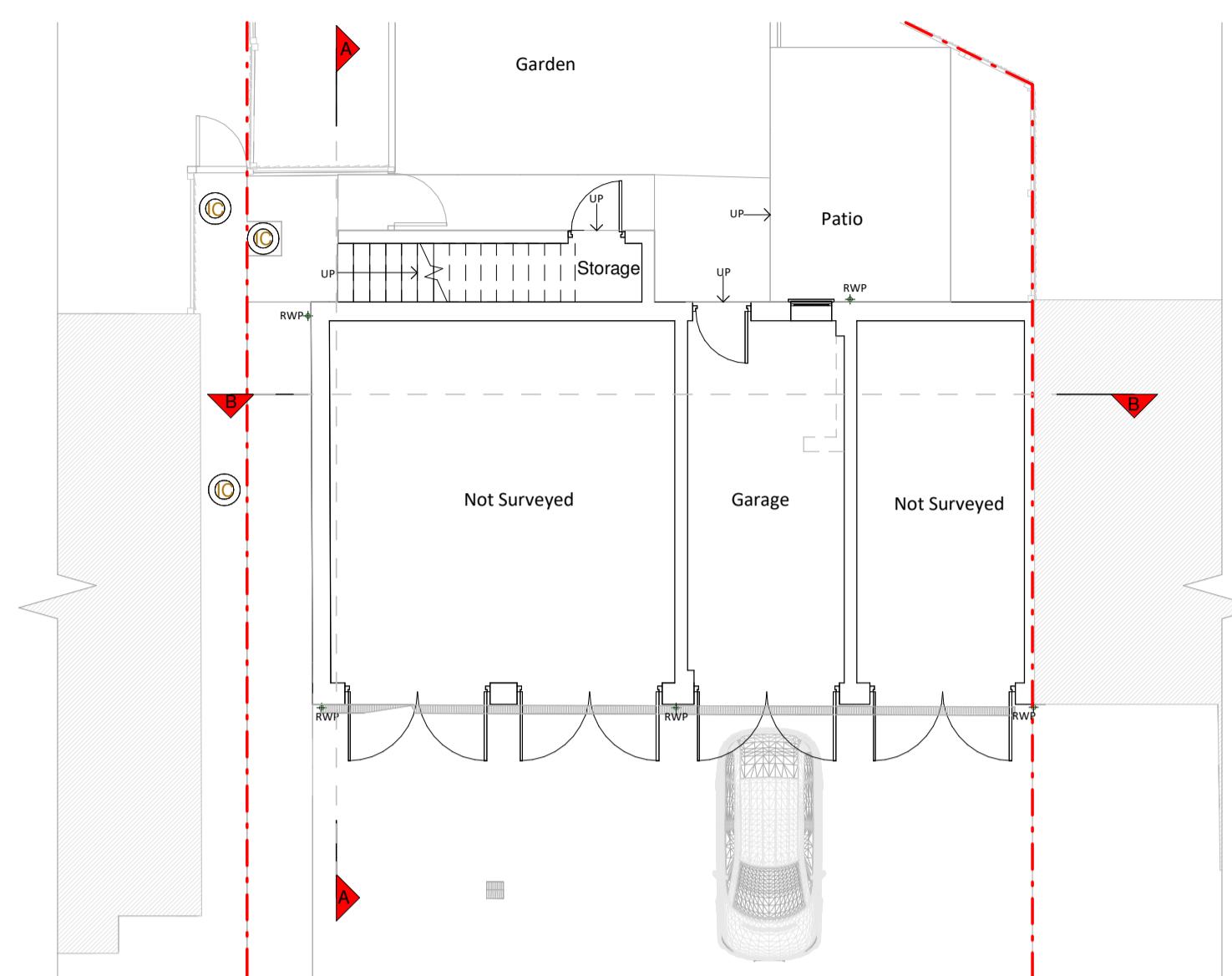
MY

Drawing No.

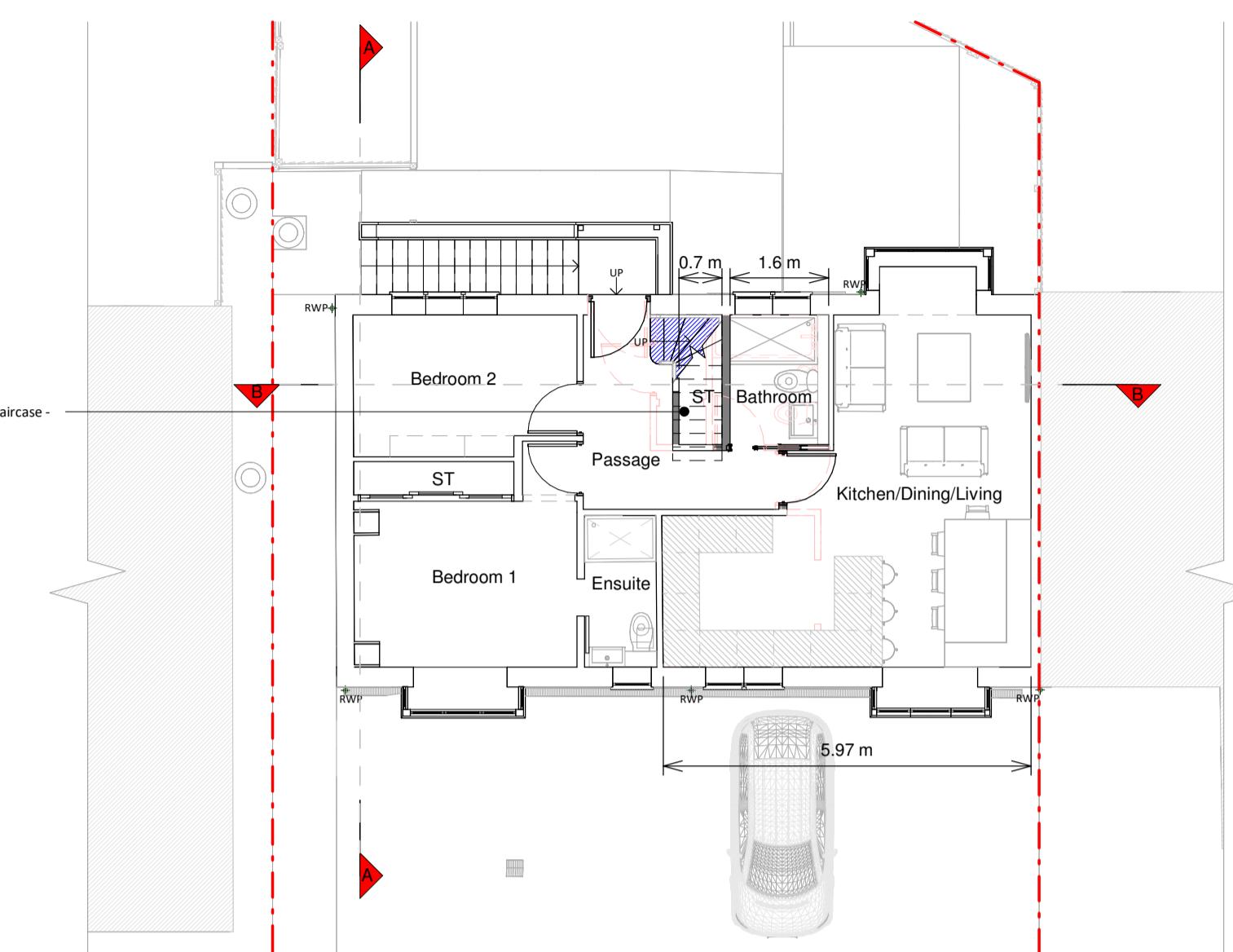
B278374-1200

Rev A

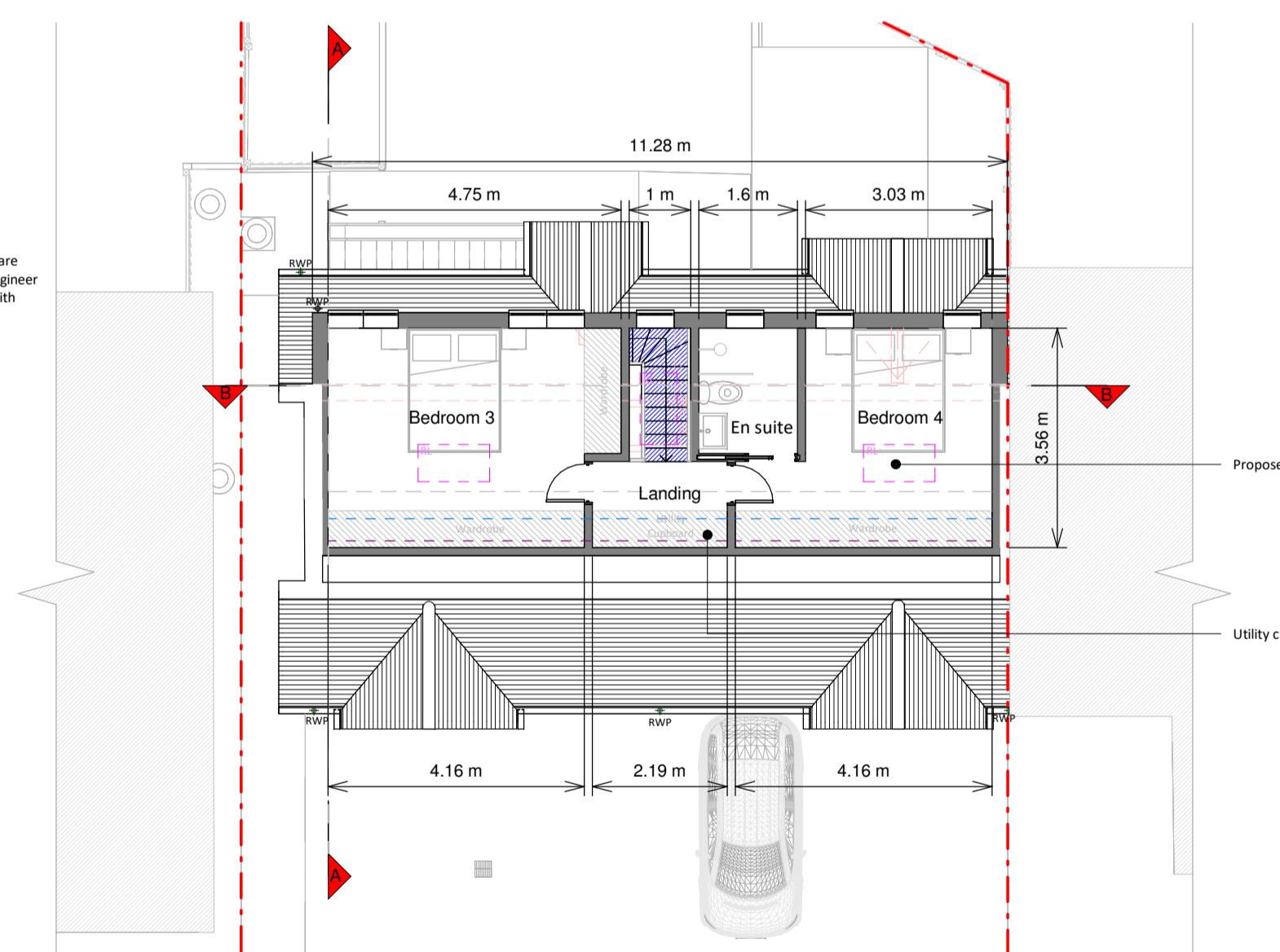
1 0 1 2 3 4 5
m
SCALE 1:100



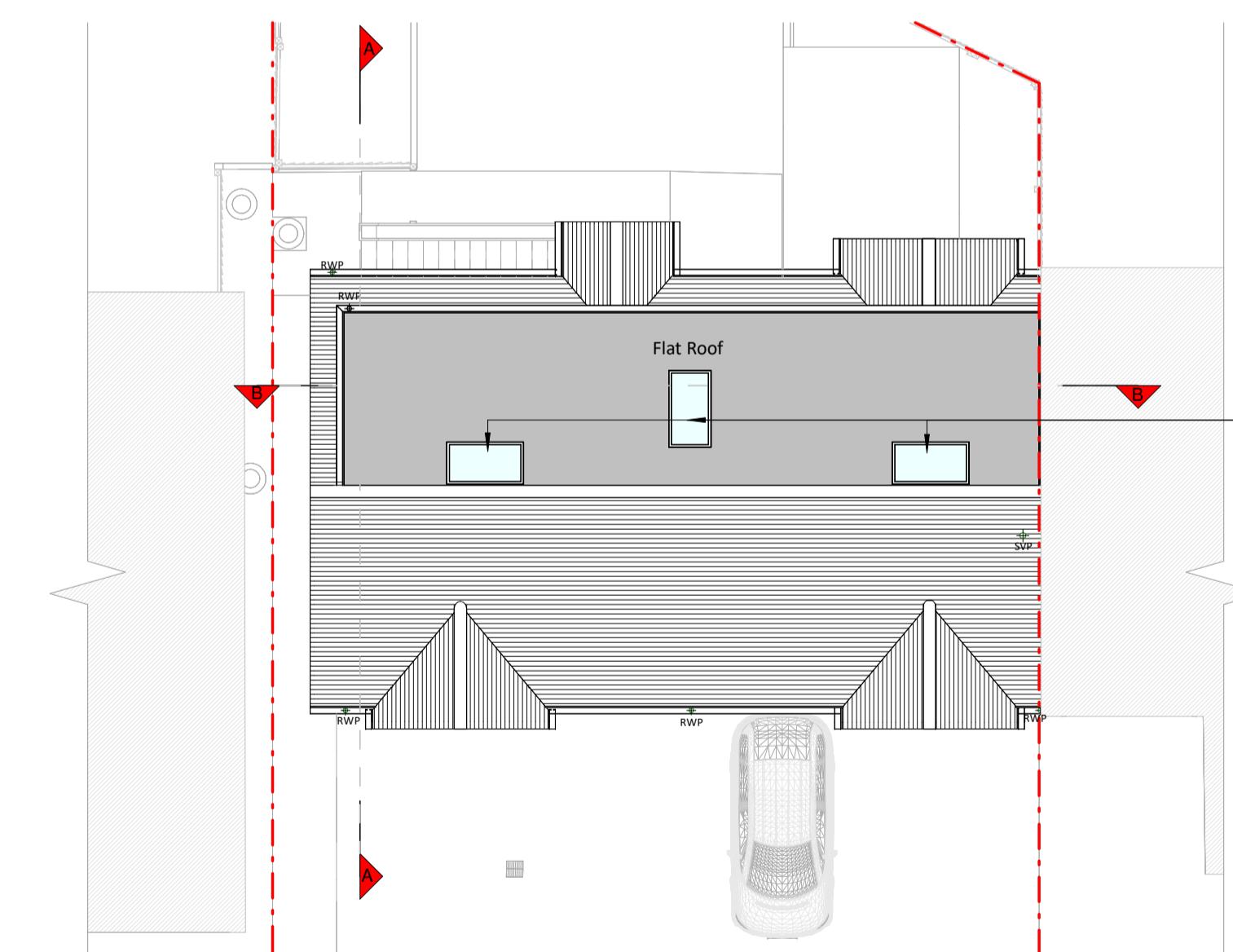
Ground Floor Plan



First Floor Plan



Loft Plan



Roof Pla

All structural elements are subject to Structural Engineer input and agreement with Building Control

posed Materials:
work / walls - Hung tiles dormer walls to
h existing
roof - Fibreglass
lows - White uPVC framed windows to match
ing and aluminum framed rooflights
's / Gutter's / Fascia's - Black uPVC gutters and

Legend for the site plan:

- Existing walls: solid black line
- Proposed walls: dashed black line
- Proposed furniture: dashed black line
- Proposed staircase: dashed black line
- Proposed windows: dashed black line
- Proposed rooflight: dashed black line
- Boundary line: red dashed line
- Proposed beam: green dashed line
- Proposed drainage: dark red dashed line
- Existing removed: light red dashed line
- 1.5m head height: purple dashed line
- 1.8m head height: blue dashed line

Notes	Date
Planning Issue	05/02/2025

ers End, Charlton, Reading,
0 9RZ

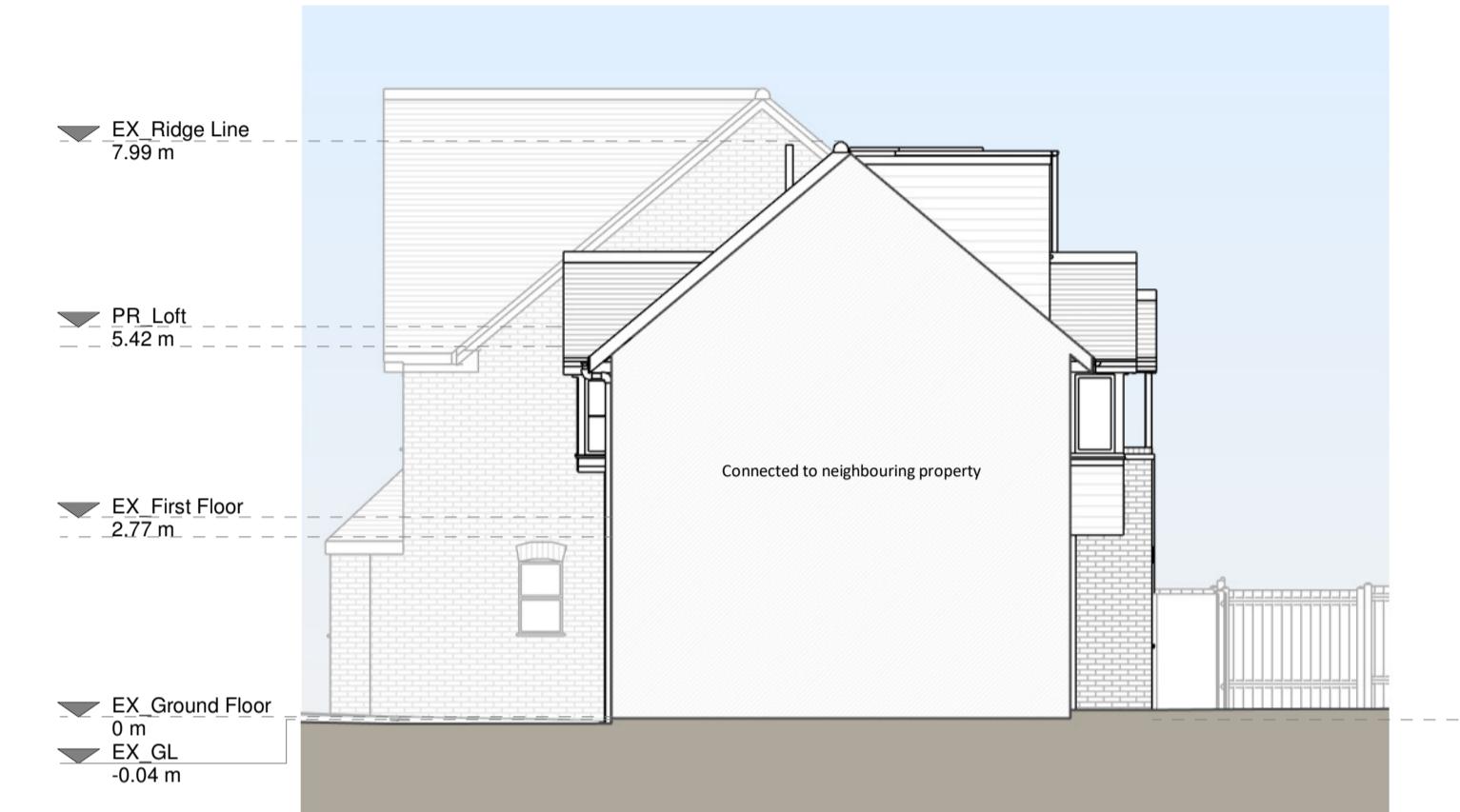
Adebekun

00 @ A1	Drawn AR Checked 170
005	

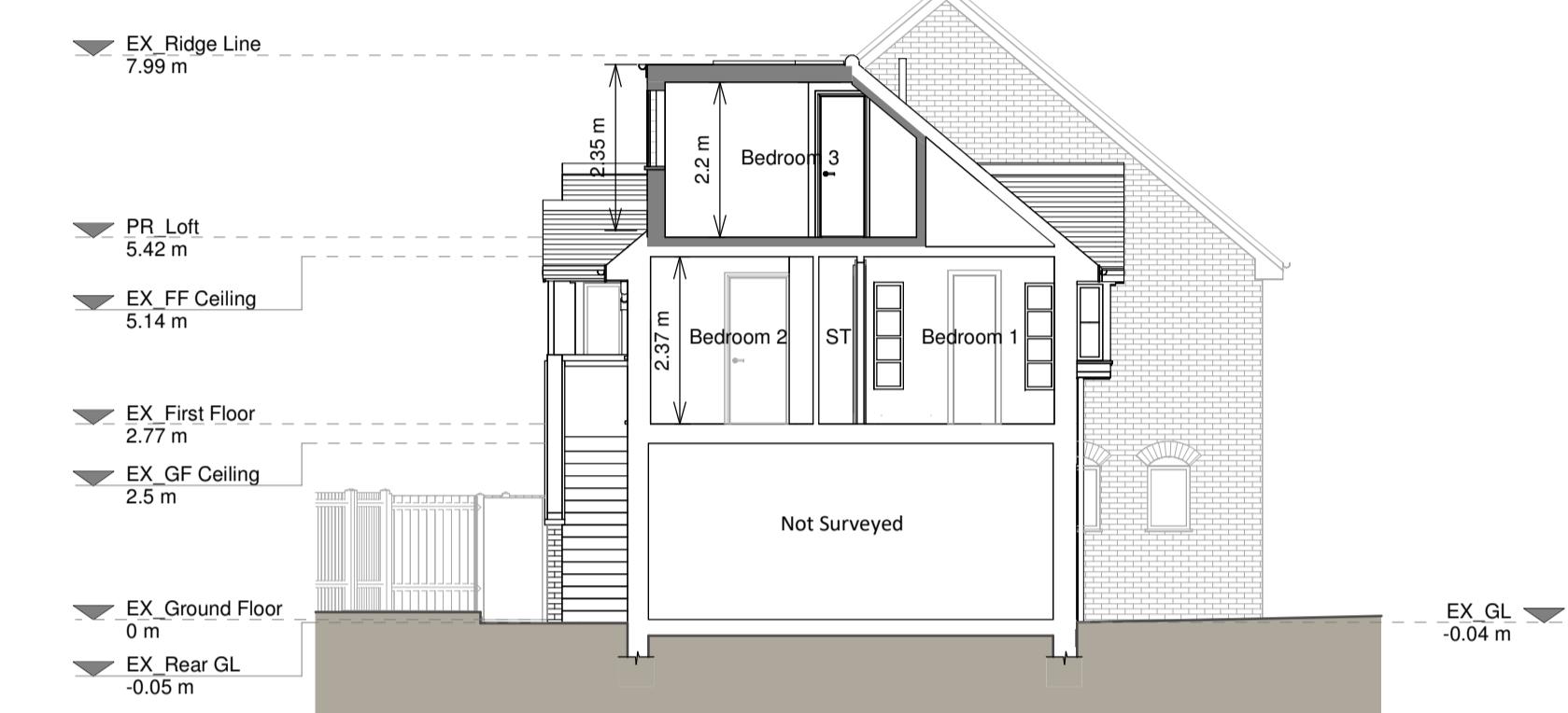
025	AFG
No. 374-3100	Rev A



Front Elevation



Right Side Elevation



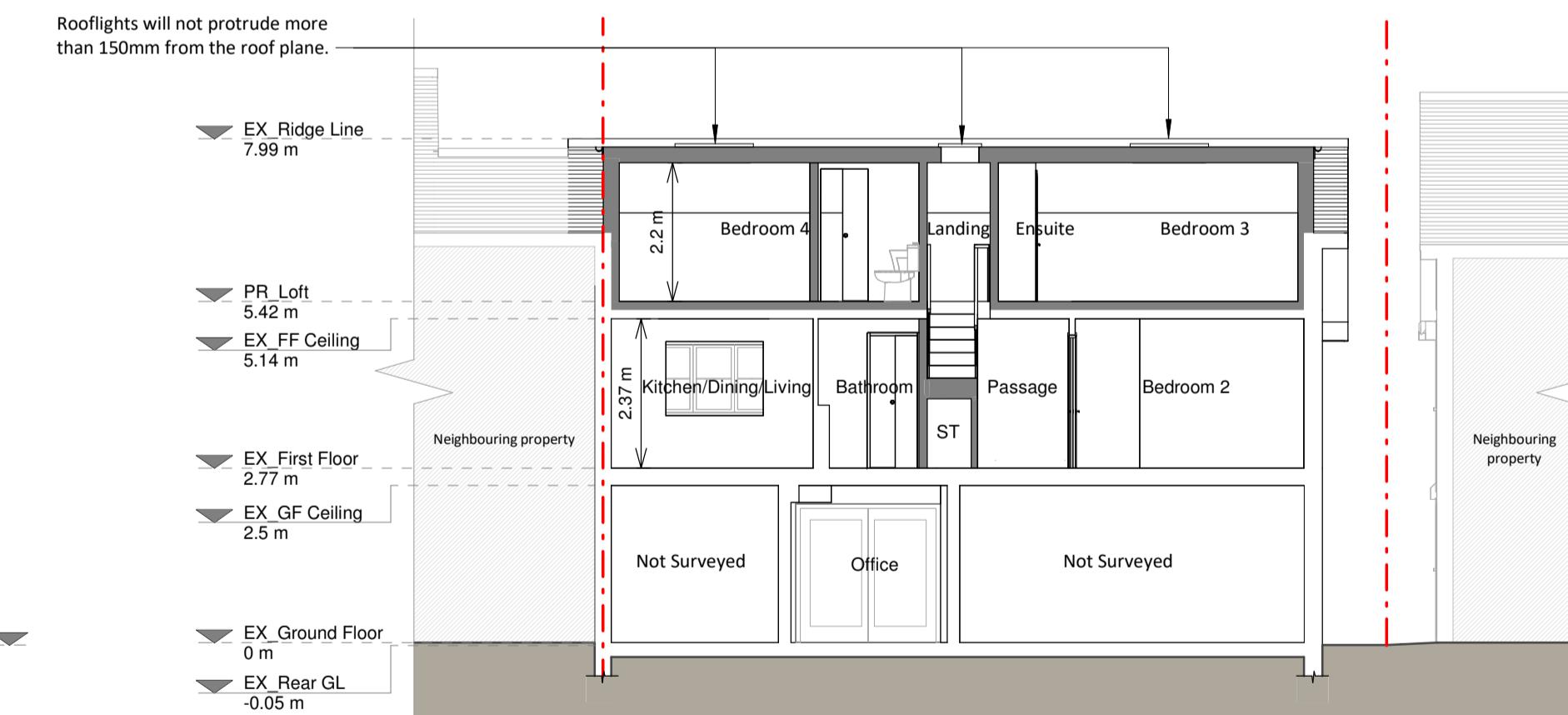
Section A - A



Rear Elevation



Left Side Elevation



Section B - B

Volume Calculation
Volume of Dormer
V=0.5x A x B x C
V=0.5x2.38 x 2.8 x 11.28
V=37.58 m³
The permitted development volume allowance for terraced houses is 40m³

Proposed Materials:
Brickwork & walls - Hung tiles dormer walls to match existing
Flat roof - Fibreglass
Windows - White upVC framed windows to match existing and aluminium framed rooflights
RWPF / Gutter's / fascia's - Black upVC gutters and downspouts, white upVC fascia boards to match existing

KEY
■ Existing walls
■ Boundary line
■ Proposed beam
■ Proposed furniture
■ Proposed drainage
■ Proposed staircase
■ Existing removed
■ Proposed windows
■ 1.5m head height
■ Proposed rooflight
■ 1.8m head height

Revision
Rev Notes Date
A Planning Issue 05/02/2025

RESI
Grow your home

Job Title
Proposed loft conversion with rear dormer, internal alterations and all associated works at 12 Farmgate End, Charlbury, Reading, RG10 9RZ

Drawing Status
Planning Drawings

Client
Tolu Adebekun

Drawing Title
Proposed Elevations and Sections

Scale 1:100 @ A1 Drawn AR
Feb 2025 Checked AFG

Drawing No. B278374-3200 Rev A