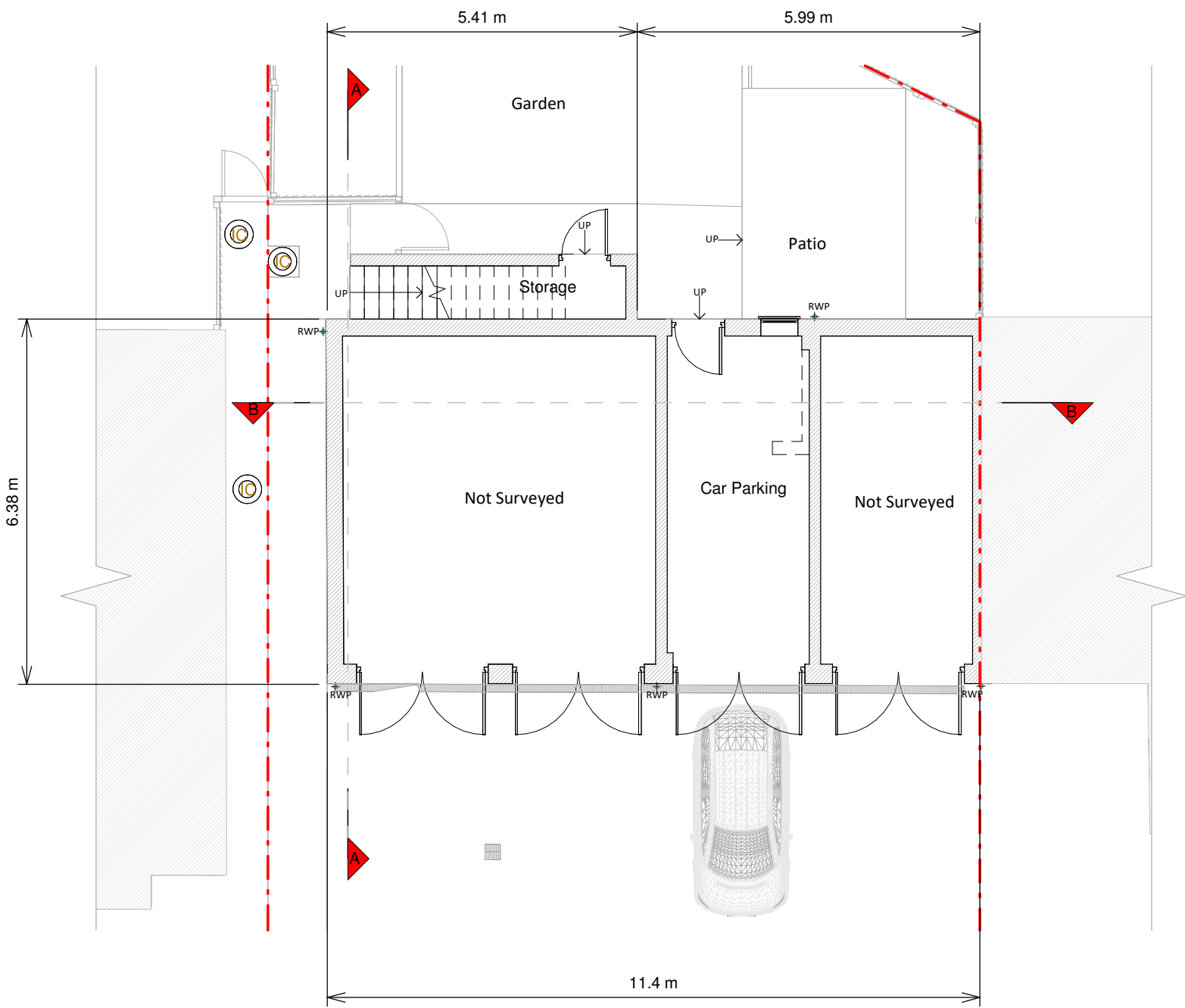


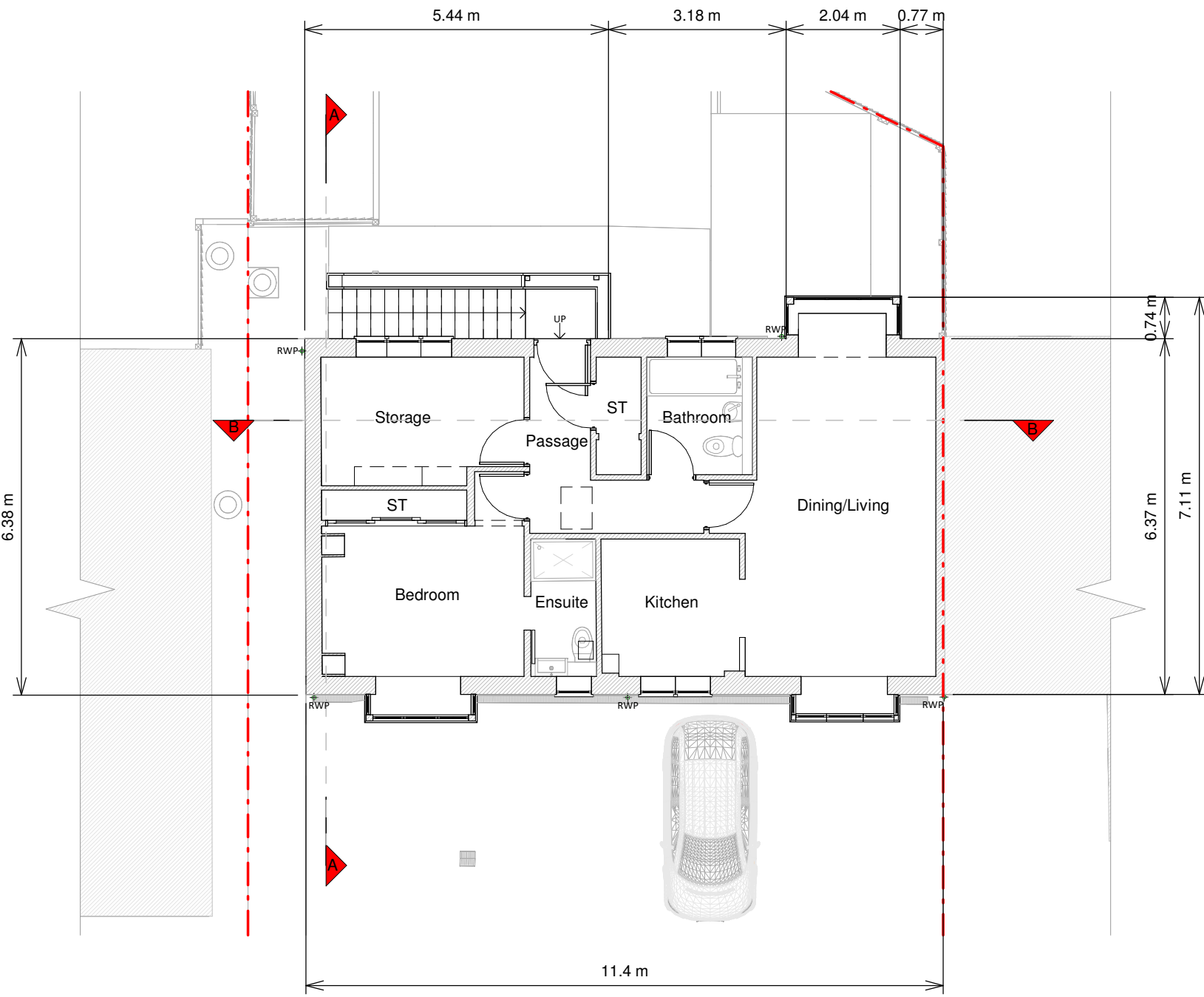
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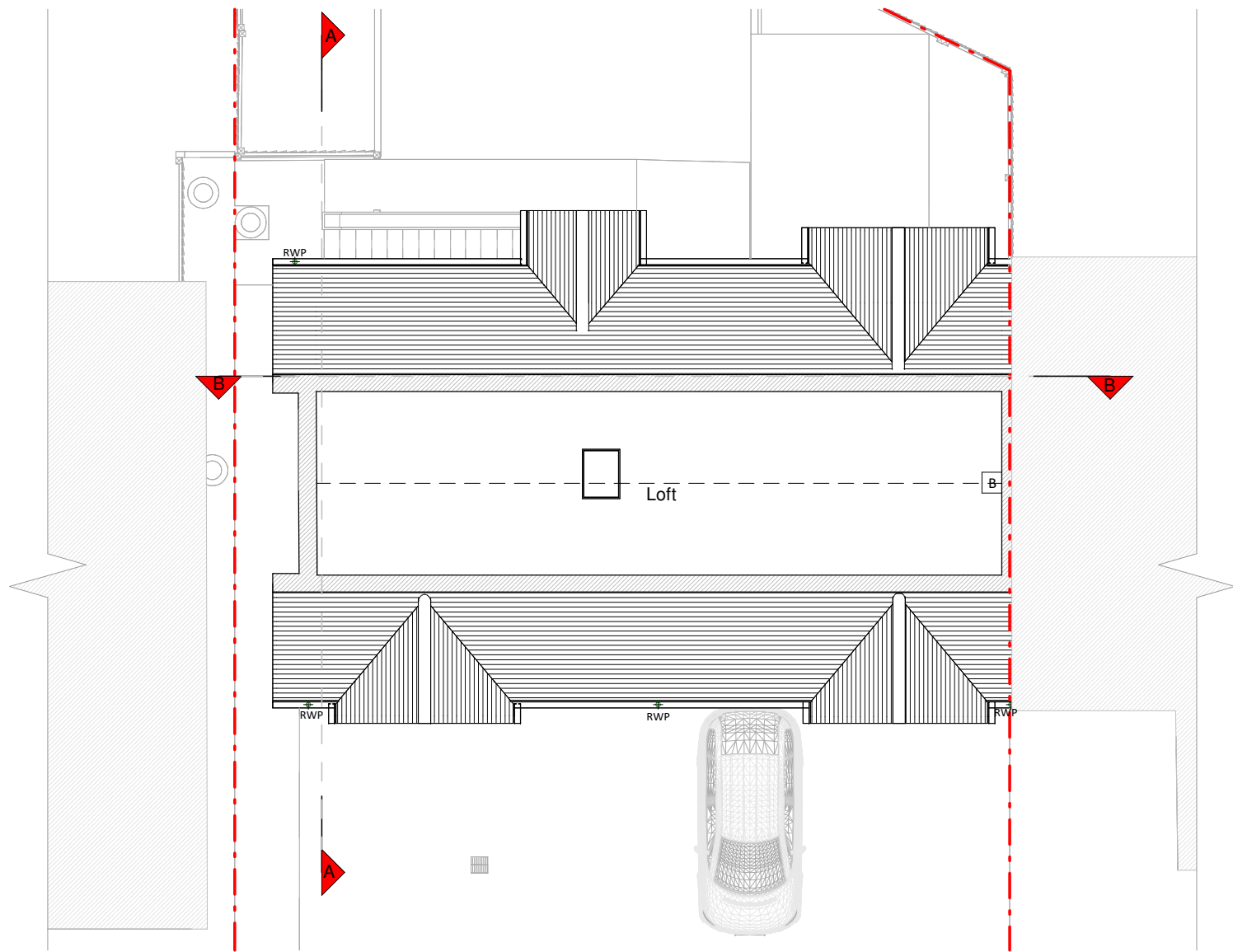
Read do not advise using planning drawings for the construction of the building. All measurements to be checked on-site prior to construction and construction. Any discrepancies to be reported to RESI immediately.



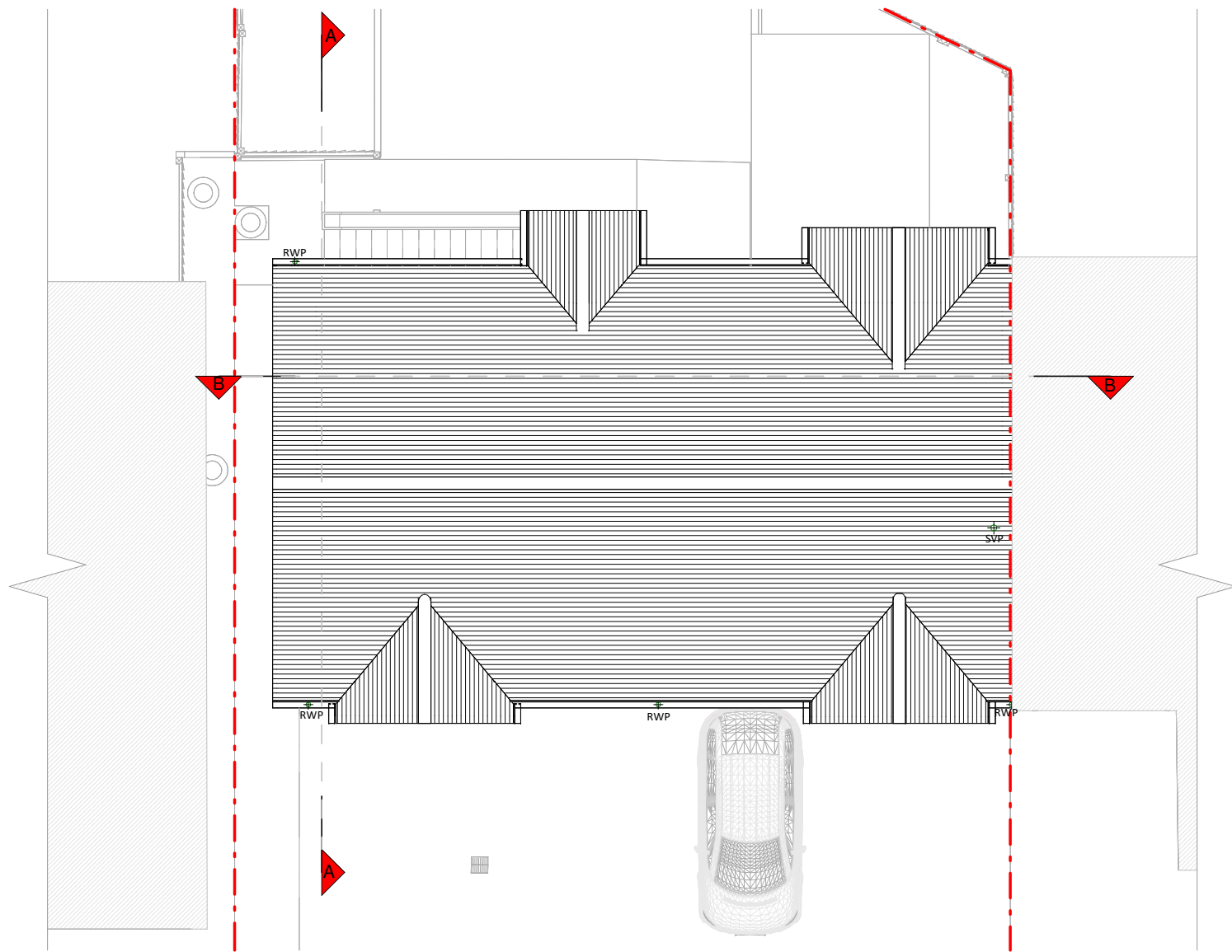
Ground Floor Plan



First Floor Plan



Loft Plan



Roof Plan

Existing Materials

Brickwork / walls - Red brick, not vertically hung
18th c. gable dormer, horizontal timber clad
gable dormer

Pitched roof - Concrete tiles

Windows - White uPVC framed windows

Doors - Timber framed doors and uPVC framed door

Roof's / Gutters / Fascia - Black uPVC gutters and downpipes, white uPVC fascia boards

KEY

Existing walls - Red dashed line
Existing furniture - Red dashed line
Level line - Red dashed line
1.5m head height - Red dashed line
1.8m head height - Red dashed line



Revision		
Rev	Notes	Date
A	Planning Issue	05/02/2025



Job Title
Proposed loft conversion with rear dormer, internal alterations and all associated works at 12 Farmers End, Charvil, Reading, RG10 9RZ

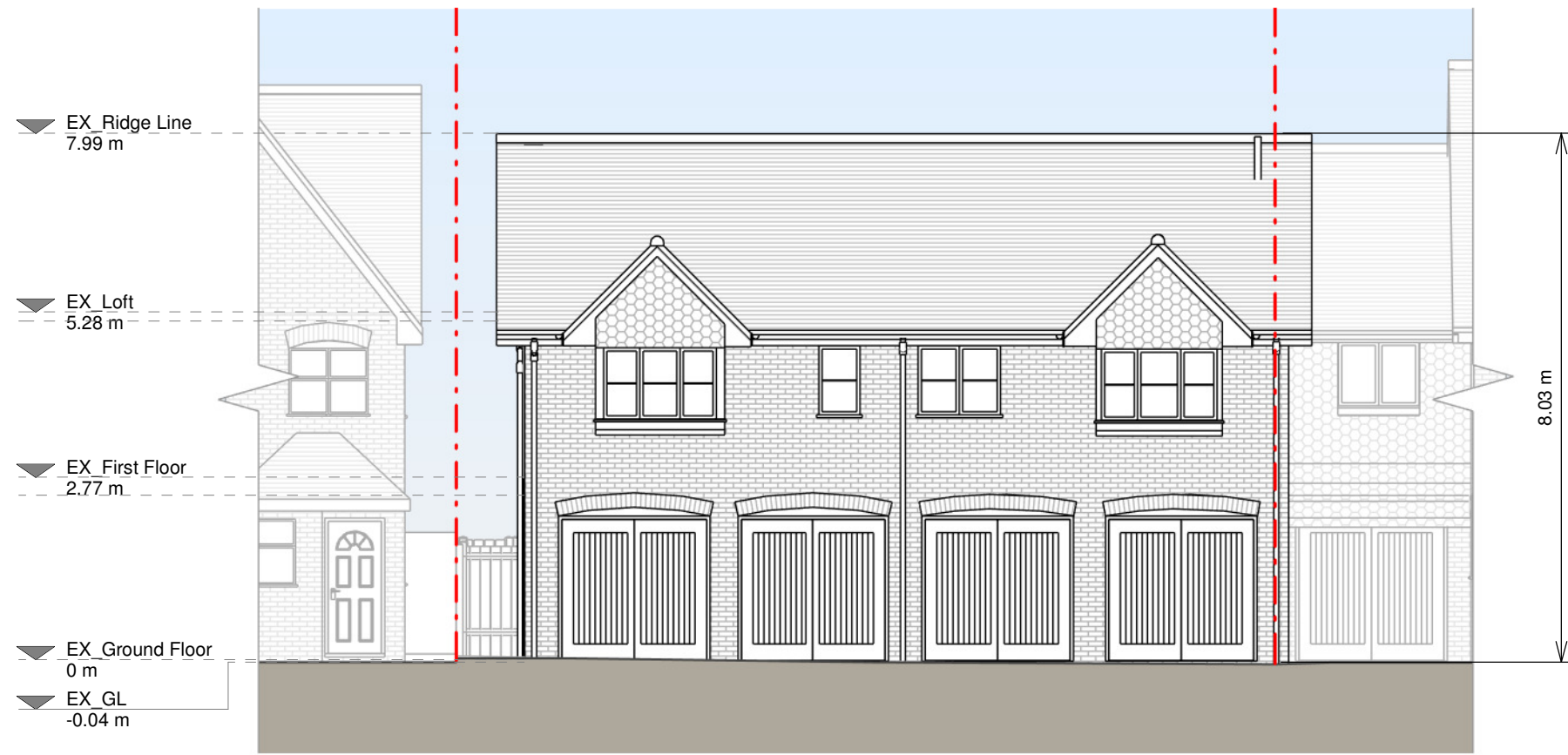
Drawing Status
Planning Drawings

Client
Tolu Adebekun

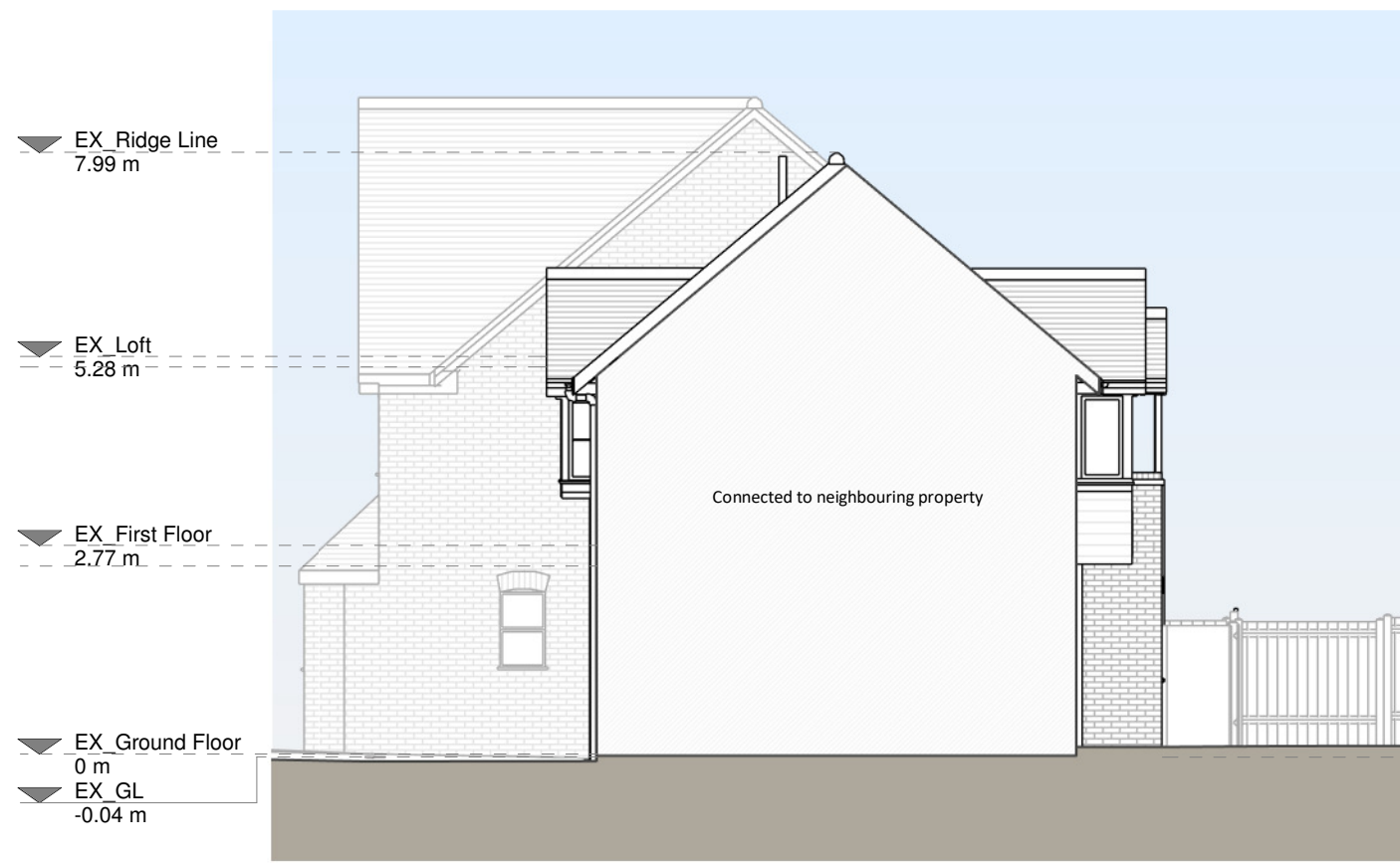
Drawing Title
Existing Floor Plans and Roof Plan

Scale 1:100 @ A1	Drawn AR
Date Feb 2025	Checked MY
Drawing No. 8278374-1100	Rev A

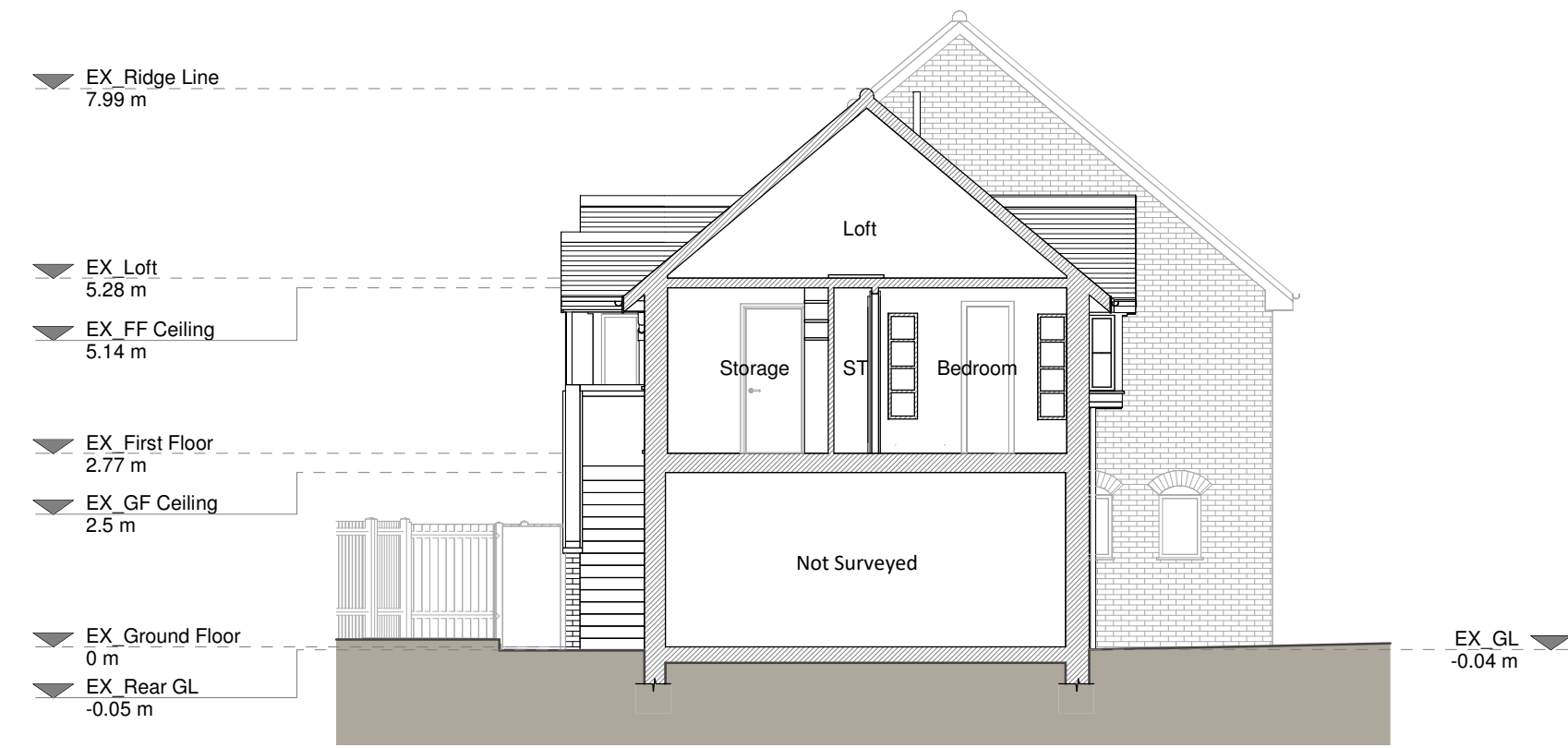
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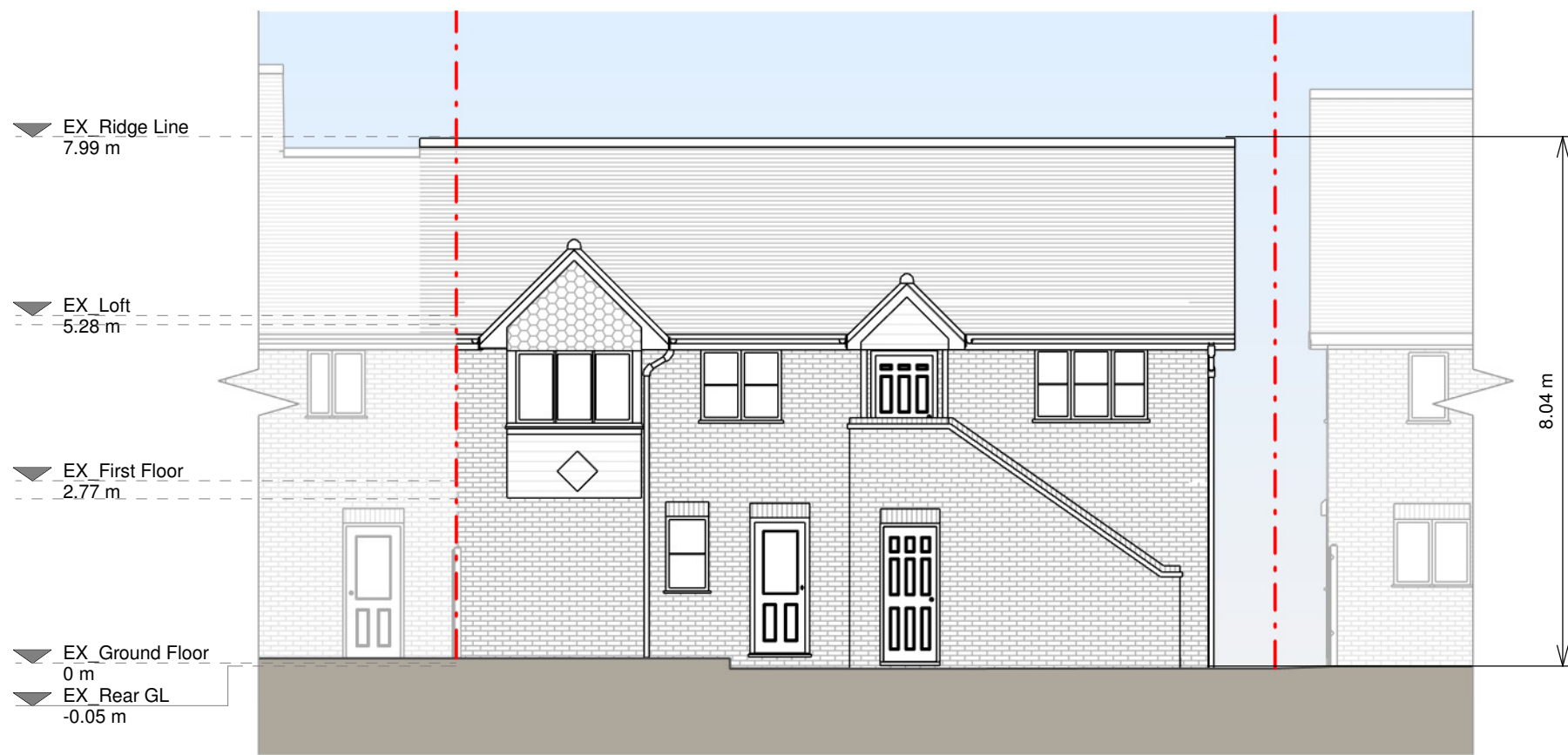
Front Elevation



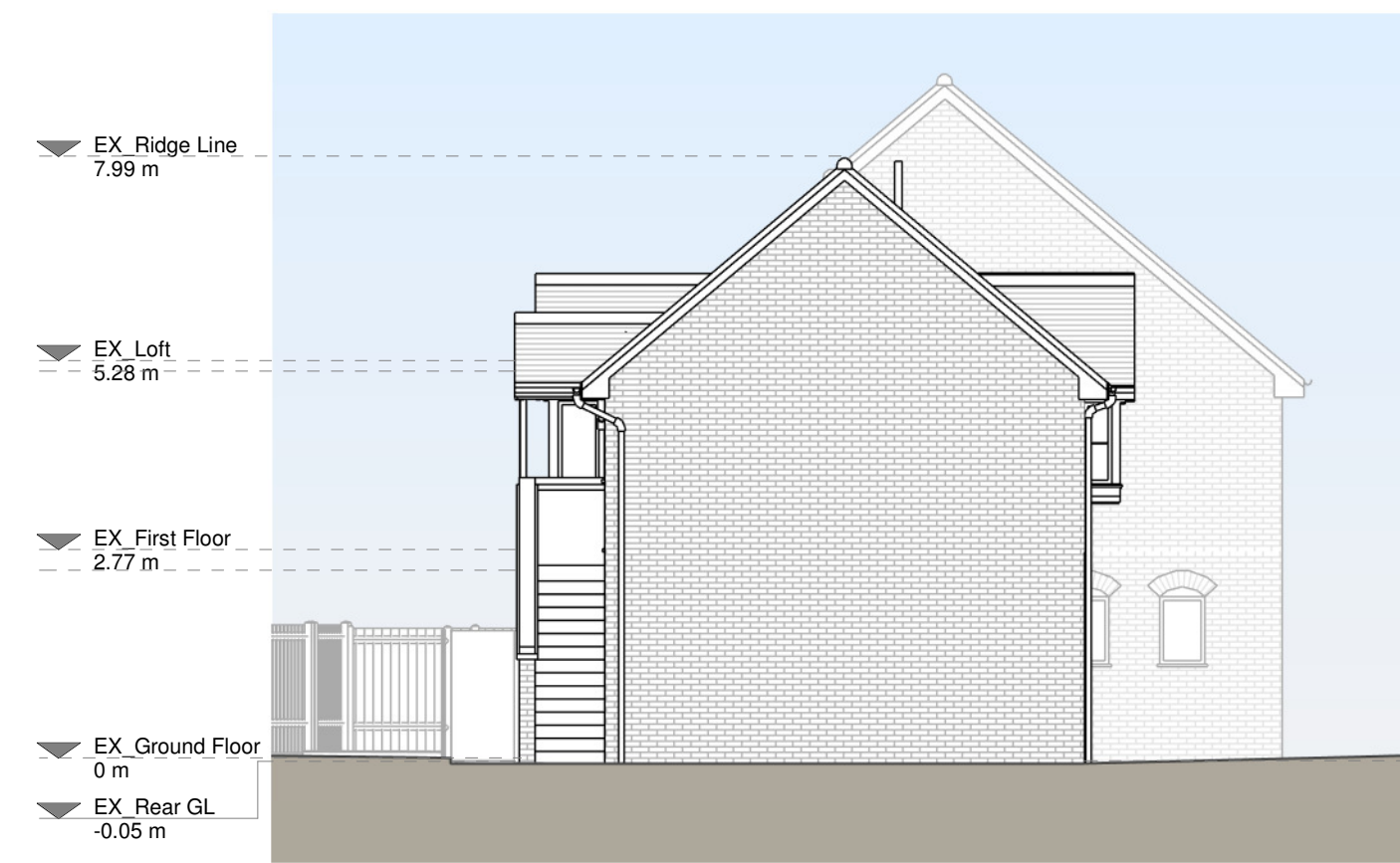
Right Side Elevation



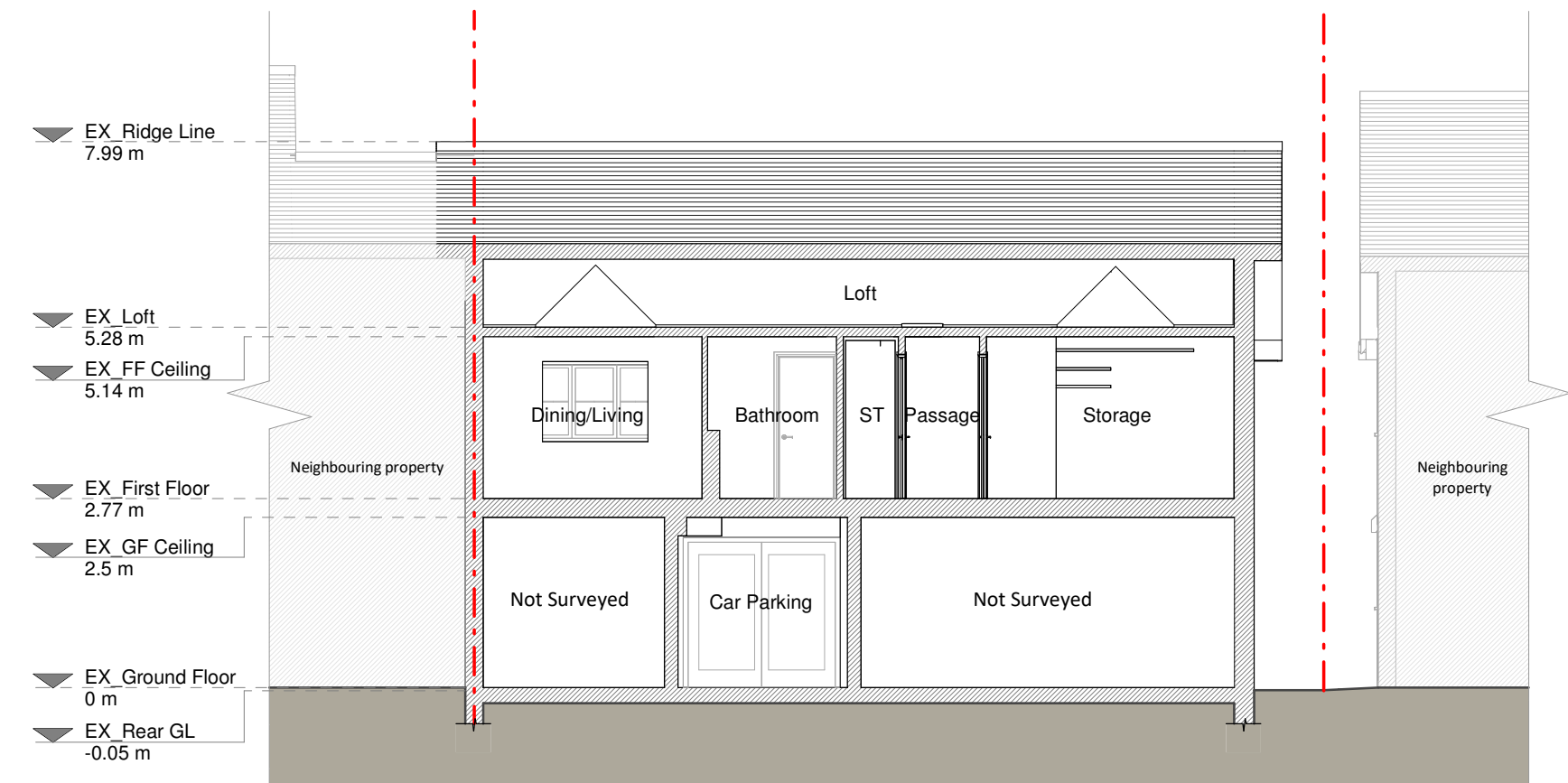
Section A - A



Rear Elevation



Left Side Elevation



Section B - B

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Read do not advise using planning drawings for the construction stage. All measurements to be checked on-site prior to construction and construction. Any discrepancies to be reported to RESI immediately.

Existing Materials:

Brickwork / walls - Red brick, red vertically hung tile clad gable dormer, horizontal timber clad gable dormer

Pitched roof - Concrete tiles

Windows - White uPVC framed windows

Doors - Timber framed doors and uPVC framed door

Roofs / Gutters / Fascia - Black uPVC gutters and downpipes, white uPVC fascia boards

KEY

Existing walls - Red dashed line

Existing furniture - Blue dashed line

Level line - Blue dashed line

1.5m head height - Blue dashed line

1.8m head height - Blue dashed line

Revision		
Rev	Notes	Date
A	Planning Issue	05/02/2025



Job Title

Proposed loft conversion with rear dormer, internal alterations and all associated works at 12 Farmers End, Charvil, Reading, RG10 9RZ

Drawing Status

Planning Drawings

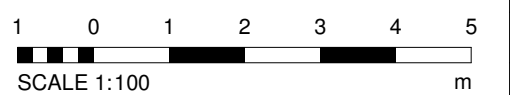
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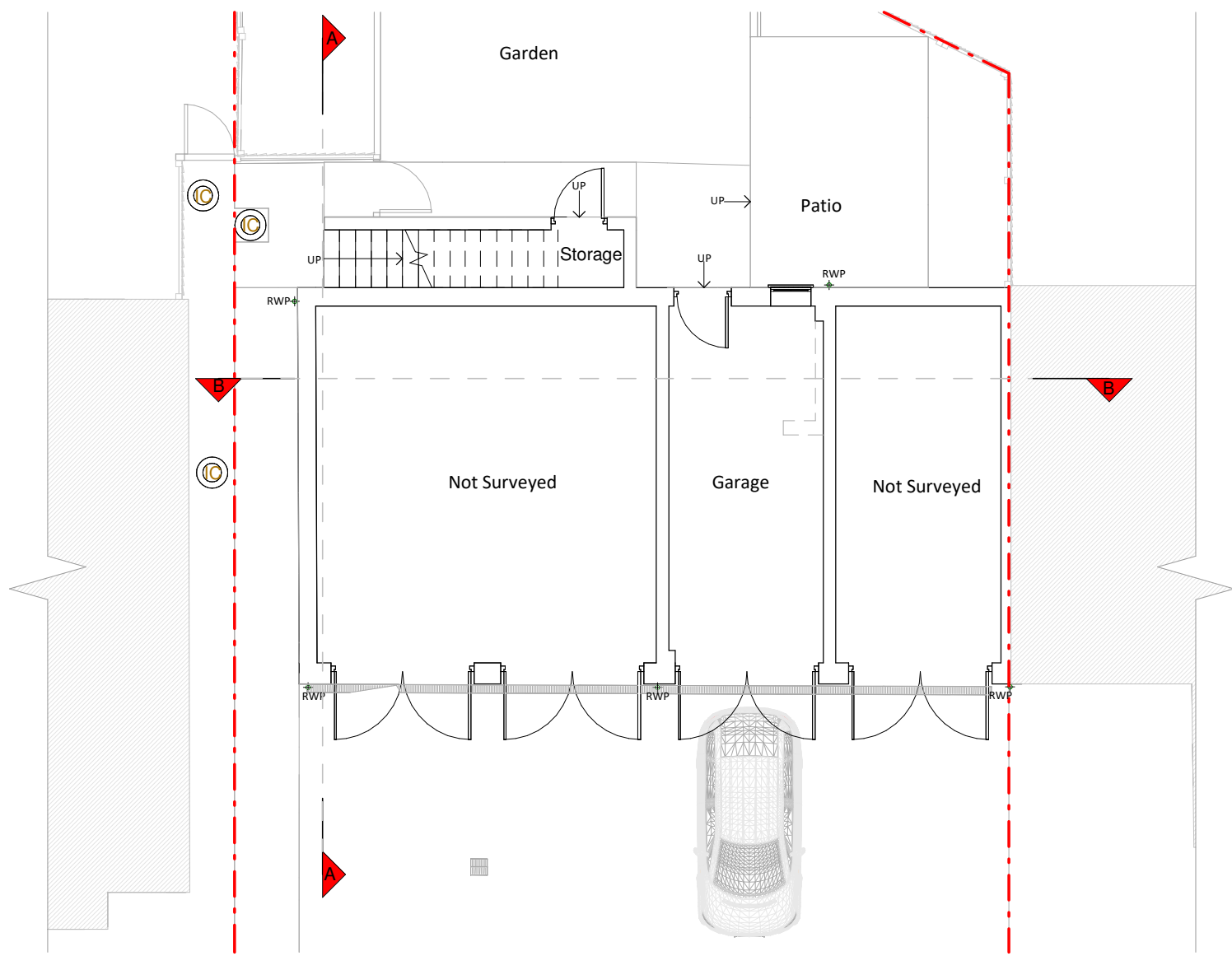
Tolu Adebekun

Drawing Title

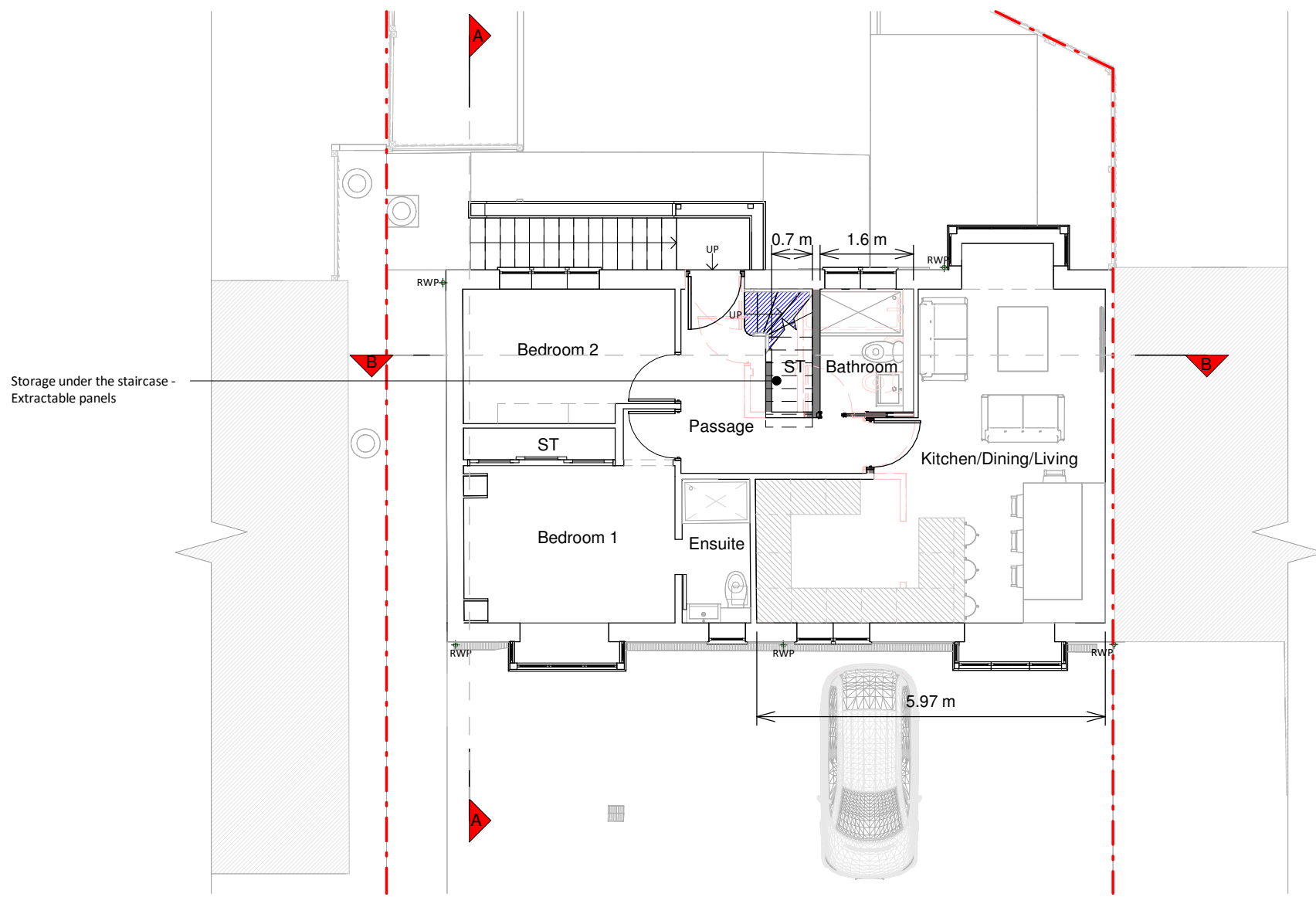
Existing Elevations and Section

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Date	Feb 2025	Checked	MY
Drawing No.	8278374-1200	Rev	A

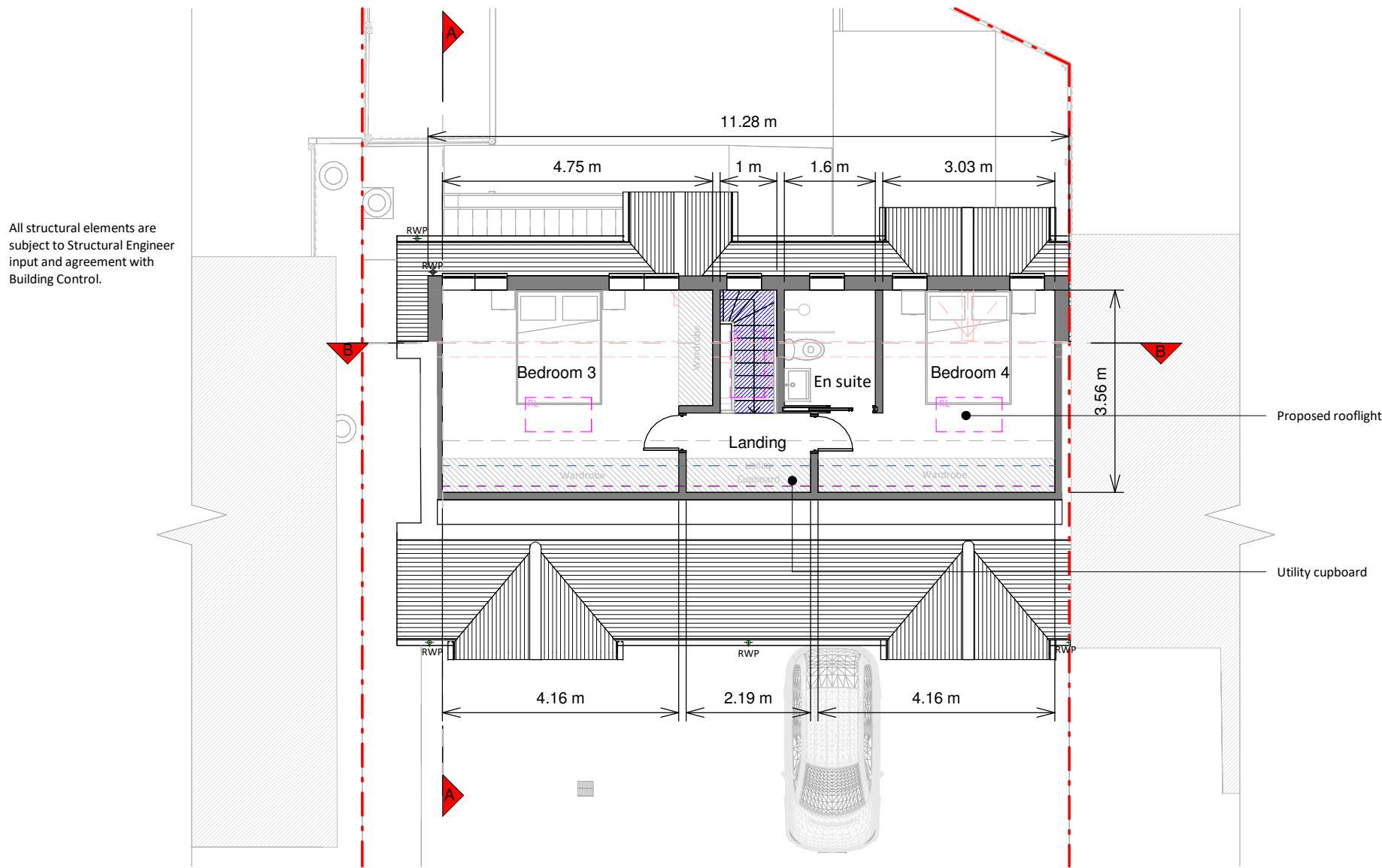




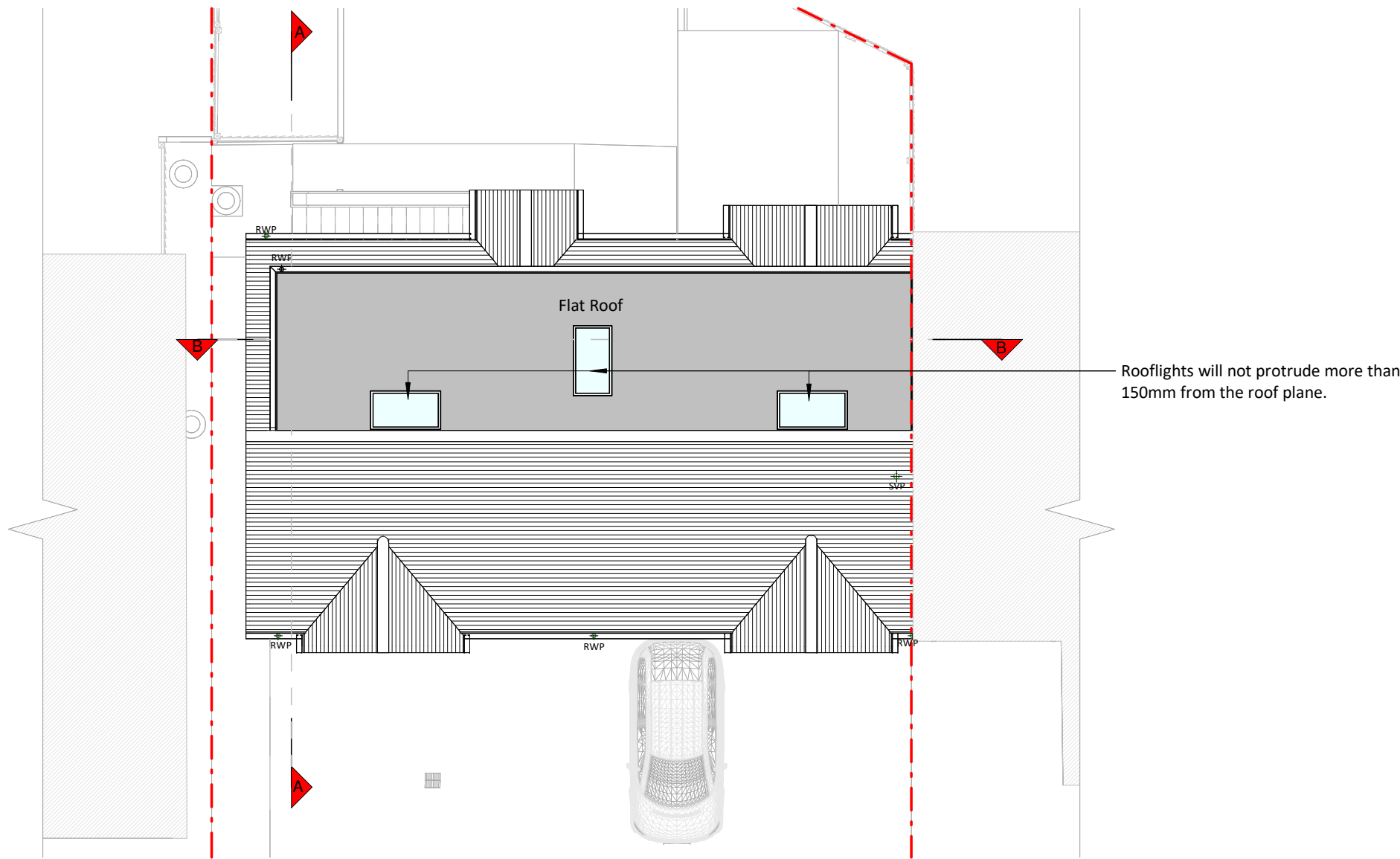
Ground Floor Plan



First Floor Plan



Loft Plan



Roof Plan

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Proposed Materials

Brickwork / walls - Hung tiles dormer walls to match existing

Flat roof - Fibreglass

Windows - White uPVC framed windows to match existing and aluminium framed rooflights

RWPs / Gutter's / Fascia's - Black uPVC gutters and downpipes, white uPVC fascia boards to match existing

KEY

Existing walls - Boundary line

Proposed walls - Proposed beam

Proposed furniture - Proposed drainage

Proposed staircase - Existing removed

Proposed windows - 1.5m head height

Proposed rooflight - 1.8m head height



Revision		
Rev	Notes	Date
A	Planning Issue	05/02/2025



Job Title

Proposed loft conversion with rear dormer, internal alterations and all associated works at 12 Farmers End, Charvil, Reading, RG10 9RZ

Drawing Status

Planning Drawings

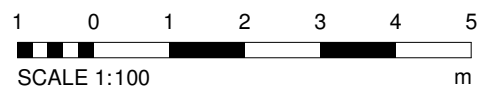
Client

Tolu Adebekun

Drawing Title

Proposed Floor Plans and Roof Plan

Scale	1:100 @ A1	Drawn	AR
Date	Feb 2025	Checked	AFG
Drawing No.	8278374-3100	Rev	A

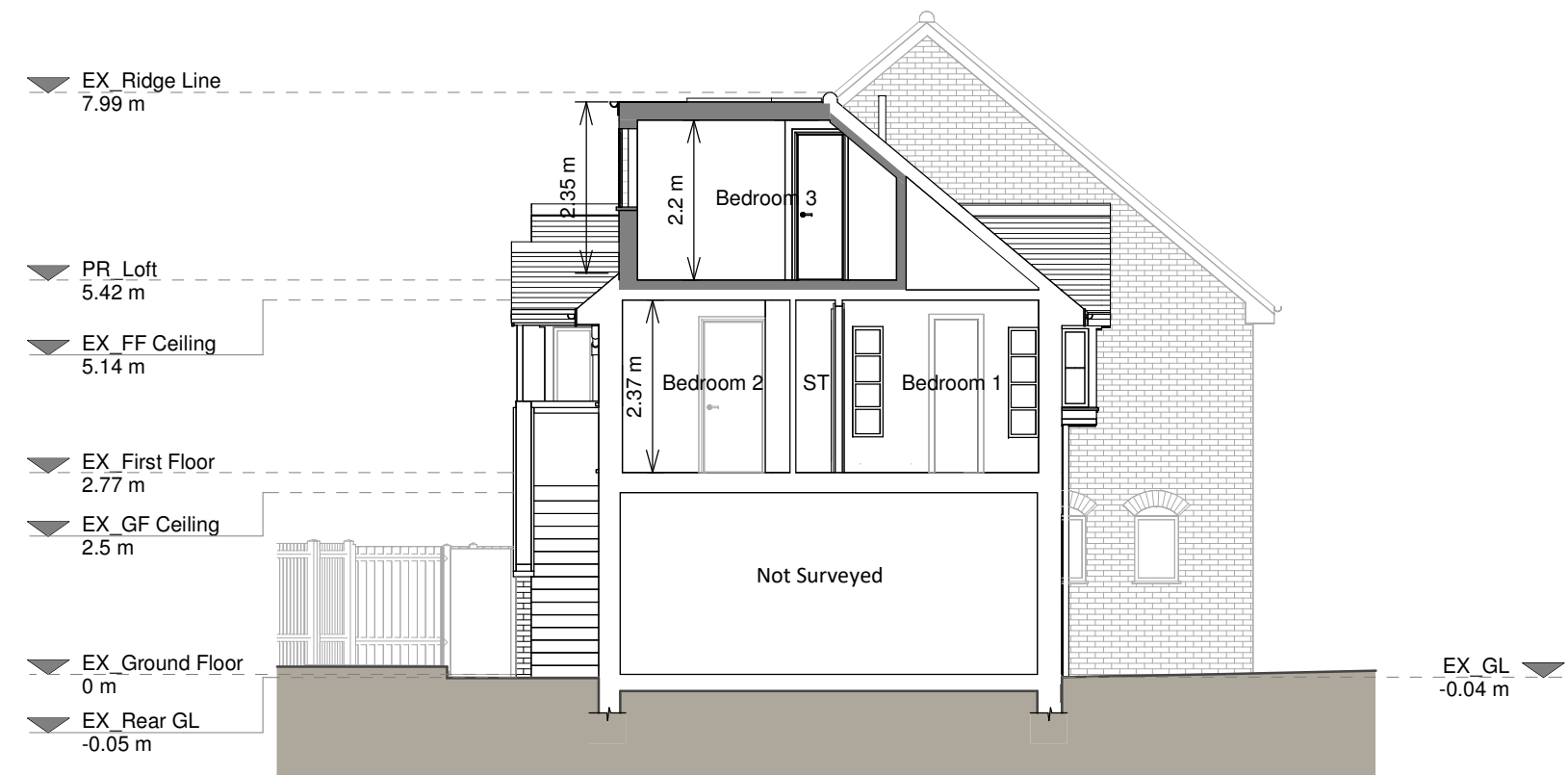




Front Elevation



Right Side Elevation



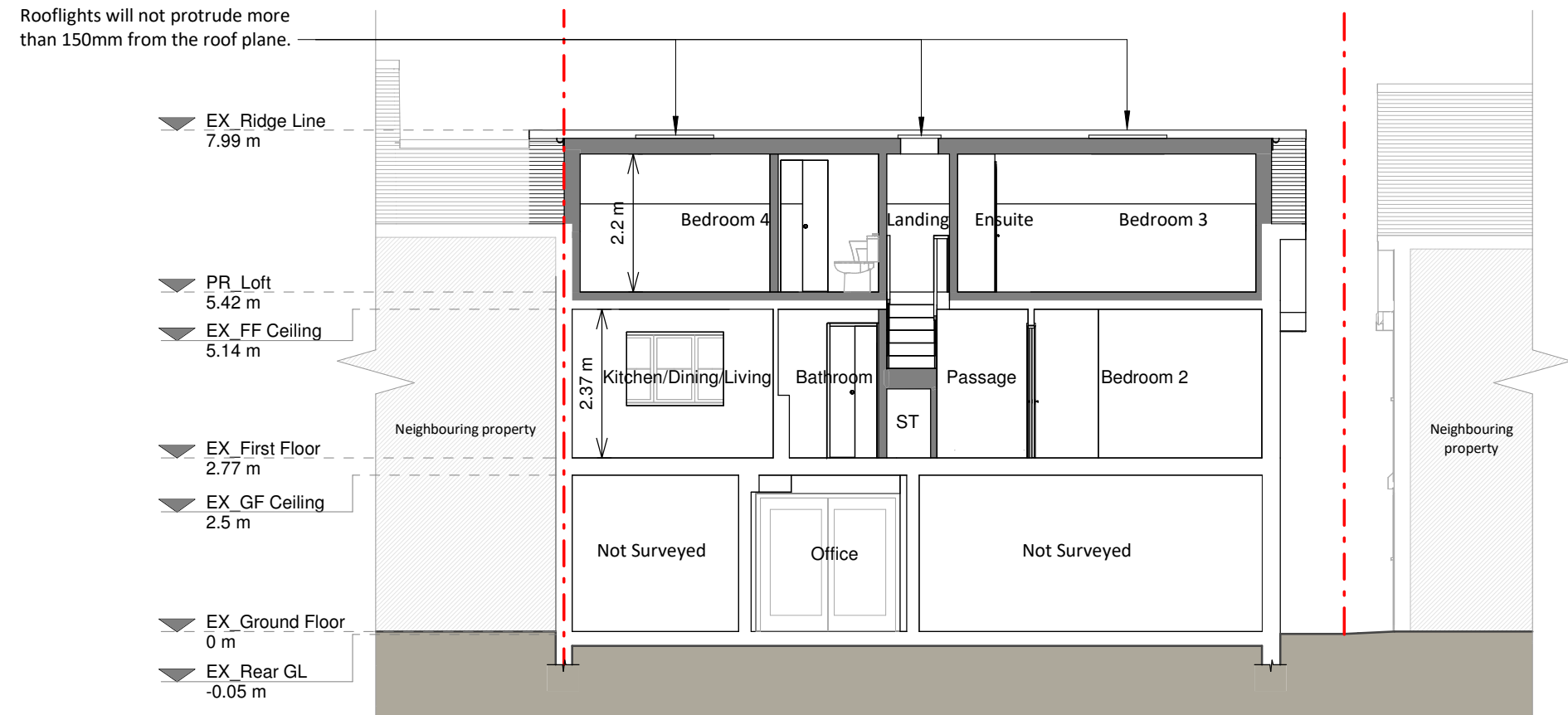
Section A - A



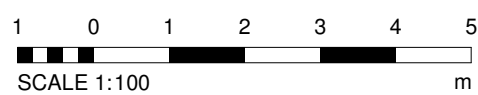
Rear Elevation



Left Side Elevation



Section B - B



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Volume Calculation

Volume of Dormer
 $V = 0.5 \times A \times B \times C$
 $V = 0.5 \times 2.35 \times 2.8 \times 11.28$
 $V = 37.58 \text{ m}^3$

The permitted development volume allowance for terraced houses is 40m³

Proposed Materials

Brickwork / walls - Hung tiles dormer walls to match existing

Flat roof - Fibreglass

Windows - White uPVC framed windows to match existing and aluminum framed rooflights

Roofs / Gutters / Fascia - Black uPVC gutters and downpipes, white uPVC fascia boards to match existing

KEY

Existing walls - Boundary line

Proposed walls - Proposed beam

Proposed furniture - Proposed drainage

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Proposed windows - 1.5m head height

Proposed rooflight - 1.8m head height

Revision		
Rev	Notes	Date
A	Planning Issue	05/02/2025

RESI
Grow your home

Job Title
Proposed loft conversion with rear dormer, internal alterations and all associated works at 12 Farmers End, Charvil, Reading, RG10 9RZ

Drawing Status
Planning Drawings

Client
Tolu Adebekun

Drawing Title
Proposed Elevations and Sections

Scale 1:100 @ A1	Drawn AR
Date Feb 2025	Checked AFG
Drawing No. 8278374-3200	Rev A