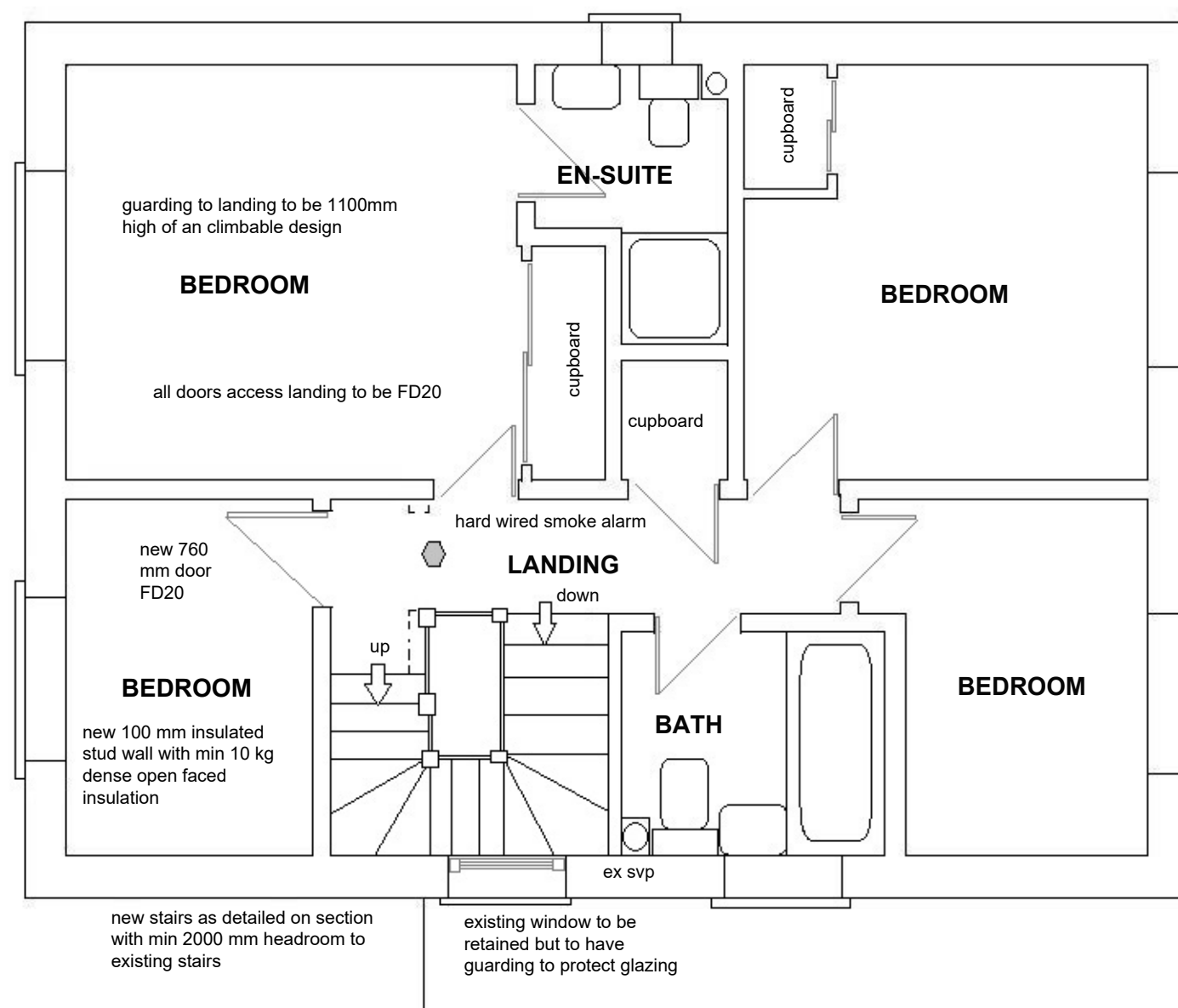


## BUILDING NOTES



### PROPOSED FIRST FLOOR PLAN 1 : 50



#### VENTILATION

Back ground ventilation for the dwelling is to be provided in accordance with Table 1.2a of Approved Document F. A minimum of 8000mm sq free ventilation area to habitable rooms and 4000mm sq to bathrooms. Habitable rooms to have windows providing a minimum of 5% of floor area as rapid ventilation openings. Kitchens are to have mechanical extractors ducted to the outside of not less than 60 lts / sec or if incorporated to the cooker hood 30 lts/sec. Utility rooms to have extractor, ducted to the outside capable of 30 lts/sec. Cloakrooms to have mechanical extractor ducted to the outside and window providing minimum of 5% of floor area as rapid ventilation. Internal cloakrooms to have mechanical extractor, ducted to the outside, rated at min 6lts / sec and linked to light switch with fifteen minute over run. Bathrooms to have extractor, ducted to the outside, capable 15 lts / sec linked to light switch with 15 minute over run. Internal rooms with mechanical extractor to have air inlet, 10mm air gap below door. If fans are to be ducted to external air and where these pass thorough an insulated space provision is to be made to prevent condensation. Venting to be 100x 50 mm run to external air brick.

#### ELECTRICS

All electrical work is to be carried out to current 19th Edition of IEE Regulations. All work to meet Part P ( electrical safety) must be designed, installed, inspected and tested by an installer who is registered with an authorised Part P competent person scheme, prior to completion the Local Authority should be satisfied that Part P has been complied within 30 days.

#### LIGHTING

All internal light fittings are to be minimum 75 lumen's per circuit watt. External light fittings with 75 lumen's per circuit watt or less are to be fitted with automatic controls to turn light off once lit area is no longer occupied. External lights with 75 lumen's per circuit watt or greater to be fitted with manual controls.

#### SMOKE DETECTORS

Mains powered smoke detectors, with emergency battery back up, are to be fitted within 7000mm of all habitable rooms and 3000mm of bedrooms and to every landing or hallway with a minimum of one detector per storey. Smoke detectors are to be linked and wired to meet current regulations.

#### CENTRAL HEATING

Heating and hot water systems are to be designed and installed by a competent person who is both registered and authorised to do so. system to be commissioned and inspected o completion to establish that specified and approved provisions for energy efficiency have been met. The contractor is to supply certification within 30 days of completion of installation. Flues and heat producing appliances are to be checked and tested on completion and results documented as set out in Building Regulations Part J and a notice provided in an obvious but unobtrusive place. Existing heating system to be checked that it is 92% Efficient with max 55 degree operating temperature and if not is to be upgraded to meet current regulations, all pipework is to be insulated and checks are to be made that the boiler is not over sized for its application.

#### IMPORTANT NOTES:

This drawing is intended for the Building Control Department for the Local Authority or private inspectors to illustrate compliance with Building Regulations. The builder should take full responsibility for the construction of the building including compliance to the Building Regulations, Workmanship, location of steels, final details and the appearance of the building. Dimensions, levels, and existing construction materials are all to be checked on site, prior to ordering of any materials or carrying out any works.

Drawings are to be read together with all planning drawings and approvals and all conditions are to be adhered to.

If any discrepancies are found please refer back to designer prior to any construction or ordering of materials to avoid abortive costs or site delays.

The contractor is to ensure all inspections are carried out during the works and a final completion inspection made when works are complete.

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# SBS

Surrey Building Services  
Architectural & Building Consultants

Client No.	No.	Revision
11381	07	BR

Client Name : Mrs Howe

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Berks  
RG40 4 PX

Proposal

PROPOSED LOFT CONVERSION WITH  
REAR DORMER

Scale 1:100 1:50

Paper Size A3

- Should Any Conflict Between Details And Measurements On This Drawing Or On Other Drawings, Then Surrey Building Services Should Be Informed Prior To Construction On Site.
- Until Full Approval Of Both Planning And Building Regulations (And Any Other Approval Applicable) Has Been Granted From The Relevant Authorities, It Should Be Understood That All Drawings Are Preliminary And Are Not For Construction. Should Work Commence Prior To Such Approvals Being Granted It Is Entirely At His Or Her Own Risk.
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1 : 100 @ A3



1 : 50 @ A3